DOUBLE JOIS DIMENSION DOWN **DETAIL**

EXISTING ELEVATION REGARDING GRA ELEV ELEVATION ENGR ENGINEER EXIST EXISTING FDN **FOUNDATION** FLOOR FACE OF

F.O. FRAM'G FRAMING FTG GFA GROSS FLOOR AREA GLULAM BEAM GWB GYPSUM WALLBOARD HDR HEADER **HEIGHT**

INSULATION LAMINATED VENEER LUMBE MEDICINE CABINE MANUFACTURER METAL NEW PARALLEL STRAND LUMBER R.O. **ROUGH OPENING** SCHEDULE

SECTION

SHEATHING

SLAB ON GRADE

STRUCTURAL

SUBFLOOR

SHEAR WALL W/ WITH WINDOW

SECT

GENERAL NOTES

- 1. All work shall comply with all applicable codes and ordinances. (2015 IBC---structural, 2015 IRC--ordinance, current Energy Code)
- 2. All mechanical, electrical and plumbing work shall be completed under separate permit, and in compliance with all applicable codes and ordinances.
- 2b. Contractor is responsible for obtaining all inspections/closing out/ finaling all permits related to the work. Architect is not responsible for finaling permits.
- 3. Contractor shall provide all items, materials, articles, operations and/ or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work.
- 4. The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any Contractor's failure to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of any Contractors, Sub-Contractors, or any of their agents or employees, or any other persons performing any of the work.
- 5. The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as required.
- 6. Contractor shall provide all shoring, bracing, and barricading necessary to ensure the structural stability of the building and the safety of all who enter the building during construction.
- 7. The Contractor is to verify all existing conditions and dimensions, and notify the Architect of any discrepancies or uncertainty.
- 8. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions.
- 9. Dimensions are to face of concrete or to face of stud unless notified otherwise.
- 10. No change in scope or intent of the work shall be made without the approval of the Architect.
- 11. ALTERNATIVES AND SUBSTITUTIONS TO DRAWINGS AND SPECIFICATIONS MAY BE ACCEPTABLE, BUT MUST BE APPROVED IN WRITING BY THE OWNER. ANY ITEM SUBSTITUTED WITHOUT WRITTEN APPROVAL MAY BE SUBJECT TO REMOVAL AT NO COST TO THE OWNERS OR ARCHITECT.
- 12. Floors and walls are to be finished under and behind casework and equipment unless noted otherwise.
- 13. Shop drawings and/ or material samples shall be prepared by the Contractor and submitted to the Architect for review on the following items. Allow (5) days for Architect's review. Every effort will be made to turn submittals around as quickly as possible. In the event that Architect is not involved in construction observation, all submittals are to be made to Owner for approval.
- All finish materials. Window Orders. Trim and molding samples. **Door Orders**
- 14. All paint and finish samples are to match Architect's control samples, and must be approved by Architect. No substitutions for paint manufacturers or grades allowed without written approval of the Architect. ROLL OUT A 4' X 4' SECTION OF EACH WALL PAINT COLOR IN ITS SPACE AND PAINT A 6' LENGTH OF ALL TRIM PIECES FOR OWNER APPROVAL PRIOR TO PURCHASE OF FULL PAINT ORDER. DO NOT PROCEED WITH PAINTING UNTIL THESE ROLL-OUTS ARE APPROVED.

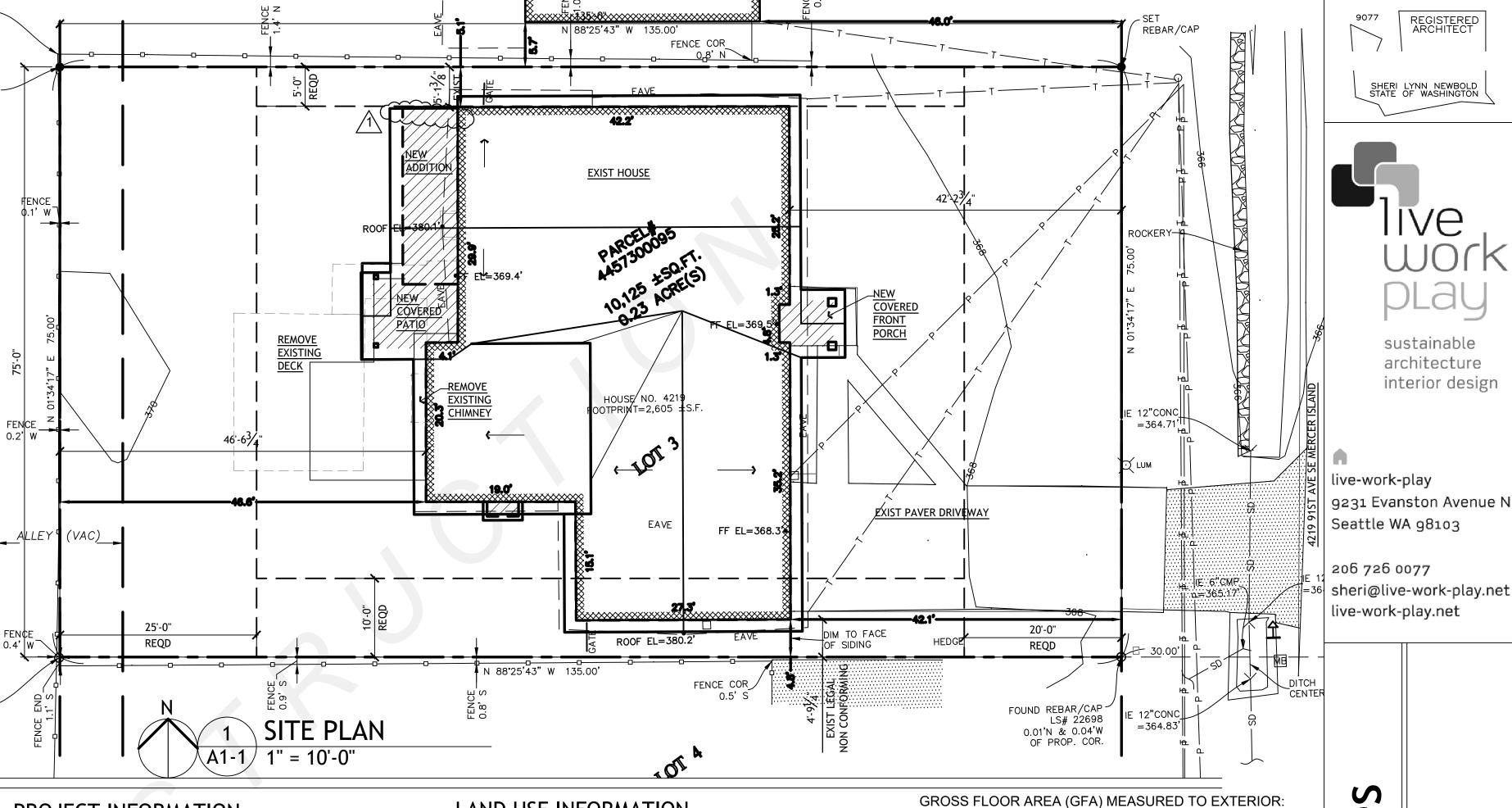
- 15. The Contractor is to verify locations of wall-mounted accessories, cabinetry, shelving, and backing for future accessories with the Owners and provide solid blocking at those locations prior to closing the walls.
- 16. The Contractor shall coordinate with the Owners to photograph the walls and ceilings of the kitchen, bathrooms, utility rooms, and any other rooms after plumbing, electrical and mechanical rough-in and before GWB is applied.
- 17. The Contractor shall be responsible for the testing of all materials suspected of containing asbestos. The cost for the testing and the removal of such material shall be an additional expense to the Owners. The Contractor shall obtain a minimum of (3) bids for the removal and disposal of the material.
- 18a. The Owners shall provide the Contractor with a list of items to be salvaged from demolition. All items shown as relocated or salvaged shall be carefully removed, stored, and protected during construction.
- 18b. Contractor shall provide salvage service for items that are not to be saved by the Owners using a salvage specialist, such as Second Use, Ballard Reuse, etc. The salvageable types of items are but are not limited to anything non-structural such as windows, doors, wood flooring, wood trim, appliances five years and newer, plumbing fixtures.
- 19. The Contractor is to provide the necessary containers for trash removal and keep the work area reasonably clean at all times. The location of any dumpster used in the work shall be coordinated with the Owners. The surface under any dumpster used in the work shall be protected at all times. The area near any dumpster used in the work shall be kept free of nails and other debris. All areas surrounding any dumpster shall be protected during dumpster removal/ drop-off. Care shall be taken to keep the street free of vehicle blockages.
- 20. During demolition and construction, protect all new work and existing to remain surfaces and building components. Damage or disturbance to the existing building or to neighboring property shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.
- 21. Provide temporary plywood enclosures after the removal of exterior walls and windows to adequately secure and protect the building. Cover openings in the roof and walls to secure against wind and rain. Keep all debris from blocking downspouts or tight lines. Maintain all debris in an orderly fashion to prevent scattering in the yard or neighbor's yard or neighborhood. Damage to the new or existing work due to water shall be promptly repaired at no cost at the Owners. All floor finishes that remain shall be protected at all times.
- 22. The Contractor shall consult with the Owners regarding the protection of specific plants on site prior to commencement of the work, and shall take reasonable precaution in the protection of these materials throughout the course of the work. All plantings in sloped areas shall be protected at all times.
- 23. Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before punch list.
- 24. Upon completion of the work, the Contractor is responsible for thorough cleaning and touch-up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction. A punch list will be generated by the Owners and Contractor at the completion of the work for these marked/damaged surfaces, and any incomplete items.
- 25. Upon acceptance of the work, the Contractor will submit to the Owners the following items:

Product and equipment guarantees Warranties

Operating and maintenance manuals as needed A list of sub-contractors involved in the work, with their addresses and phone numbers.

26. Green Building:

Use Low-VOC paint AND ADHESIVES Deconstruct and recycle areas to be removed. Maintain on-site job site recycling area. Source materials locally where possible. Formaldehyde-free materials to be used. Where formaldehyde-free materials not possible, use Urea formaldehyde-free materials. Minimize PVC use where possible. Air seal at all new construction and opened exist Building PER CODE (http://oikos.com/library/airsealing/index.html)



PROJECT INFORMATION

PROJECT DESCRIPTION ADDITION AND REMODEL

PROJECT NUMBER

ASSESSOR'S PARCEL NUMBER 445730-0095

PROJECT ADDRESS 4219 91ST AVE SE MERCER ISLAND, WA 98040

LEGAL DESCRIPTION LUCAS HEIGHTS ADD & POR

VAC ALLEY, BLOCK 2 LOT 3 OWNER

SHERYL WHITNEY & MICHAEL GEDEON 4219 91ST AVE SE MERCER ISLAND WA 98040

ARCHITECT SHERI NEWBOLD live-work-play

9231 EVANSTON AVE N SEATTLE, WA 98103 206-726-0077

CONTRACTOR WEAVER CONSTRUCTION CAM WEAVER 23631 140th Ave SE Kent, WA 98042 408-348-3095

WEAVEC*020C7

LAND USE INFORMATION

LOT SIZE 10,125 SF

LOT COVERAGE 40% OF LOT AREA (LESS THAN 15% SLOPE)

10,125 X .4 = 4050 SF ALLOWED LOT COV:

EXISTING HOUSE & GARAGE: 3034.87 SF 646.56 SF **EXIST DRIVEWAY:**

285.58 SF **NEW ADDITION:** TOTAL LOT COVERAGE: 3967.01 SF

3967.01 SF < 4050 SF

REQUIRED LANDSCAPE AREA: 60% OF LOT AREA (LESS THAN 15% SLOPE)

LANDSCAPE: ALLOWED HARDSCAPE:

10,125 X .6 = 6075 SF10,125 X .09 = 911.25 SF

EXIST WALK: 137.62 SF NEW UNCOVERED PATIO AREAS: 224.00 SF NEW COVERED PATIO AREAS: 149.96 SF

NOTE THAT EXISTING DECK IS REMOVED.

40% OF LOT AREA

10,125 X .4 = 4050 SF **ALLOWED GFA:**

EXISTING HOUSE & GARAGE UNDER 12' H: 2600.74 SF NEW ADDITION UNDER 12' H: 166.62 SF EXIST HOUSE 12'-16' H: 0 SF NEW ADDN 12'-16' H: 0 SF

TOTAL GFA: 2767.36 SF

2767.36 SF < 4050 SF

LINEAL FEET CALC DUE TO EXIST NON-CONFORMING:

EXIST LF OF EXIST EXT. WALL: 225.8 LF 90.32 LF ALLOWED CHANGE: 40% OF 225.8' LF 86.30 LF CHANGED LF:

REQ'D SETBACKS FRONT: 20'-0"

SIDE: 5'-0" AND 10'-0", THIS IS NON-CONFORMING, SEE ATTACHED PERMIT DATED 03-21-1960 REAR: 25'-0"

ENERGY INFORMATION

ENERGY CODE CALCULATION MEETS PRESCRIPTIVE REQ'S TABLE R402.1.1

EQUIPMENT SIZING FORM SEE ATTACHED.

TABLE 406.2 CREDIT .5 CREDITS REQUIRED FOR ADDITION LESS THAN 500 SF. OPTION 3A, HIGH EFFICIENCY HVAC EQUIPMENT. GAS FIRED FURNACE 94% AFUE OR BETTER.

DRAWING INDEX

COVER SHEET/ GENERAL NOTES

SURVEY

STRUCTURAL ENGINEER

DANIEL BUKER, PE

BUKER ENGINEERING

SEATTLE, WA 98103

206-258-6335

4303 STONE WAY AVE N

TREE PROTECTION PLAN

TEMPORARY EROSION AND SITE CONTROL A2-0 ENERGY NOTES, DEMO PLAN, WINDOW &

DOOR SCHEDULES FLOOR PLAN

ROOF PLAN FOUNDATION PLAN

FRAMING PLAN

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

SECTIONS A4-1 A4-2 SECTIONS A4-3 SECTIONS

A4-4 SECTIONS

A4-5 SECTIONS A4-6 SECTIONS

A4-7 DETAILS A4-8 DETAILS

GENERAL STRUCTURAL NOTES

SEE A2-3, A2-4 FOR FDN & FRAMING S3.1 STRUCT DTLS

S3.2 STRUCT DTLS

S4.1 STRUCT DTLS

S5.1 STRUCT DTLS

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∖|11/19/19 |CORR. RESPONSE 09/24/19 PERMIT SUBMIT 09/12/19 ENG BK CHECK 07/25/19 | SEND TO ENGR

06/04/19 BUDGETING

19 NOVEMBER 2019

SHERI LYNN NEWBOLD STATE OF WASHINGTON

sustainable

architecture

9231 Evanston Avenue N

live-work-play

live-work-play.net

O

interior design

LEGAL DESCRIPTION

(PER SPECIAL WARRANTY DEED RECORDING# 20010319000457)

LOT 3, BLOCK 2, LUCAS HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 5, IN KING COUNTY, WASHINGTON.

SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

PER RECORD OF SURVEY BOOK 199, PG 117, A LINE BETWEEN MONUMENTS FOUND AND SHOWN HEREON BEARS N15°15'49"E.

REFERENCES

- R1. RECORD OF SURVEY, VOL. 199, PG. 117.
- RECORDS OF KING COUNTY, WASHINGTON. R1. UNRECORDED SURVEYS BY JONES BASSI AND ASSOCIATES JOB NO. 1511 DATED 1/26/63, 1326 DATED 4/1/60, 1473 DATED

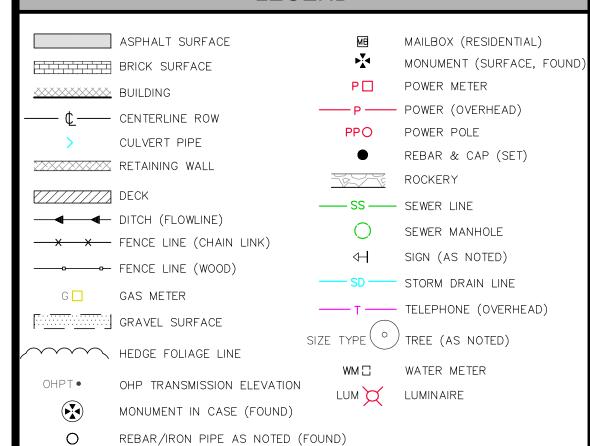
VERTICAL DATUM

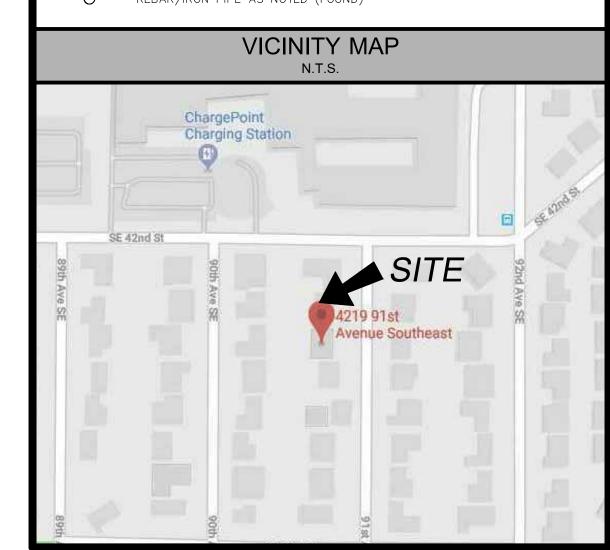
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

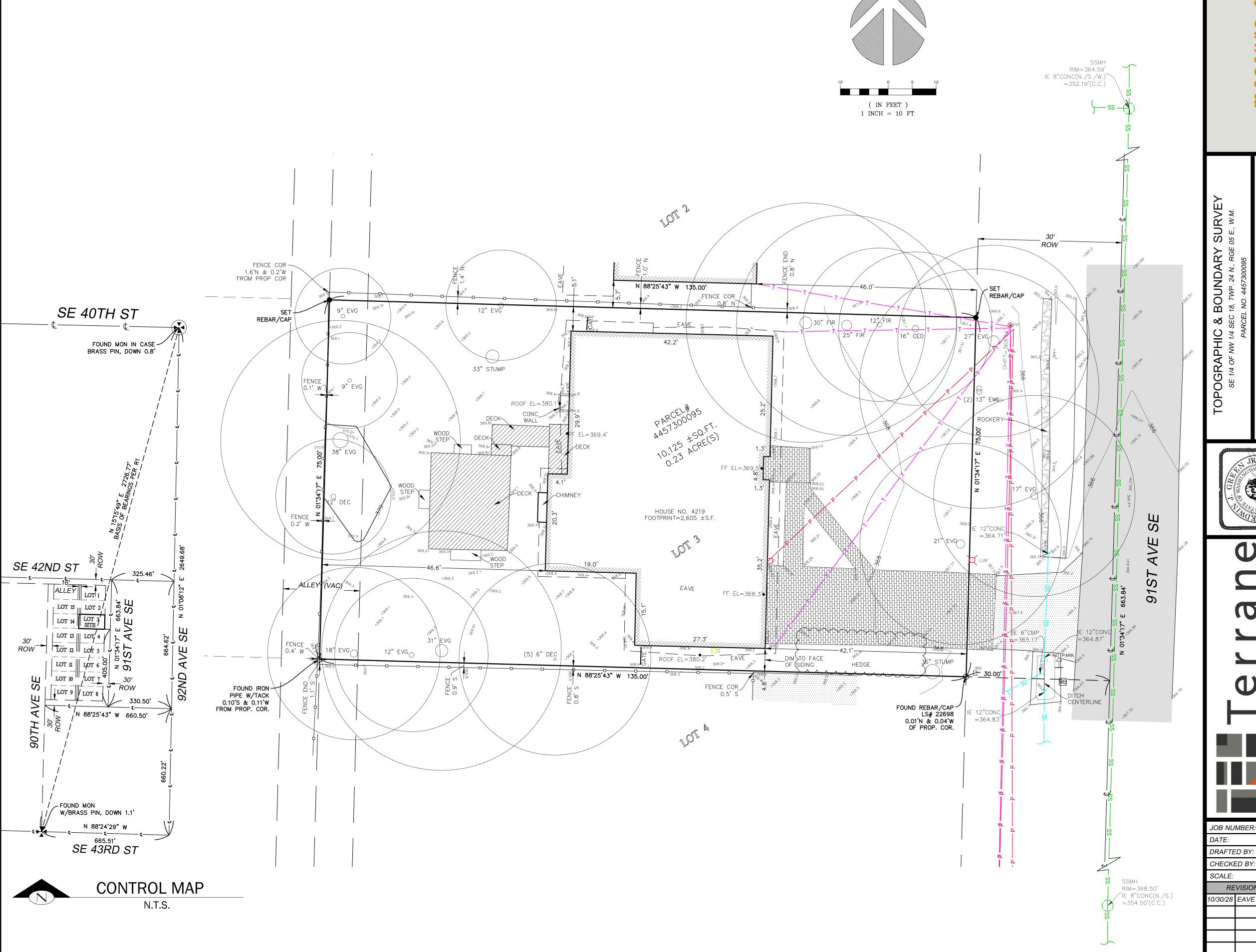
- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- 4. SUBJECT PROPERTY TAX PARCEL NO. 445730-0095
- 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,125 ±S.F. (0.23 ACRES)
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- 7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.







TOPOGRAPHIC & BOUNDARY SURVEY



GEDEON RESID

JOB NUMBER:

REVISION HISTORY

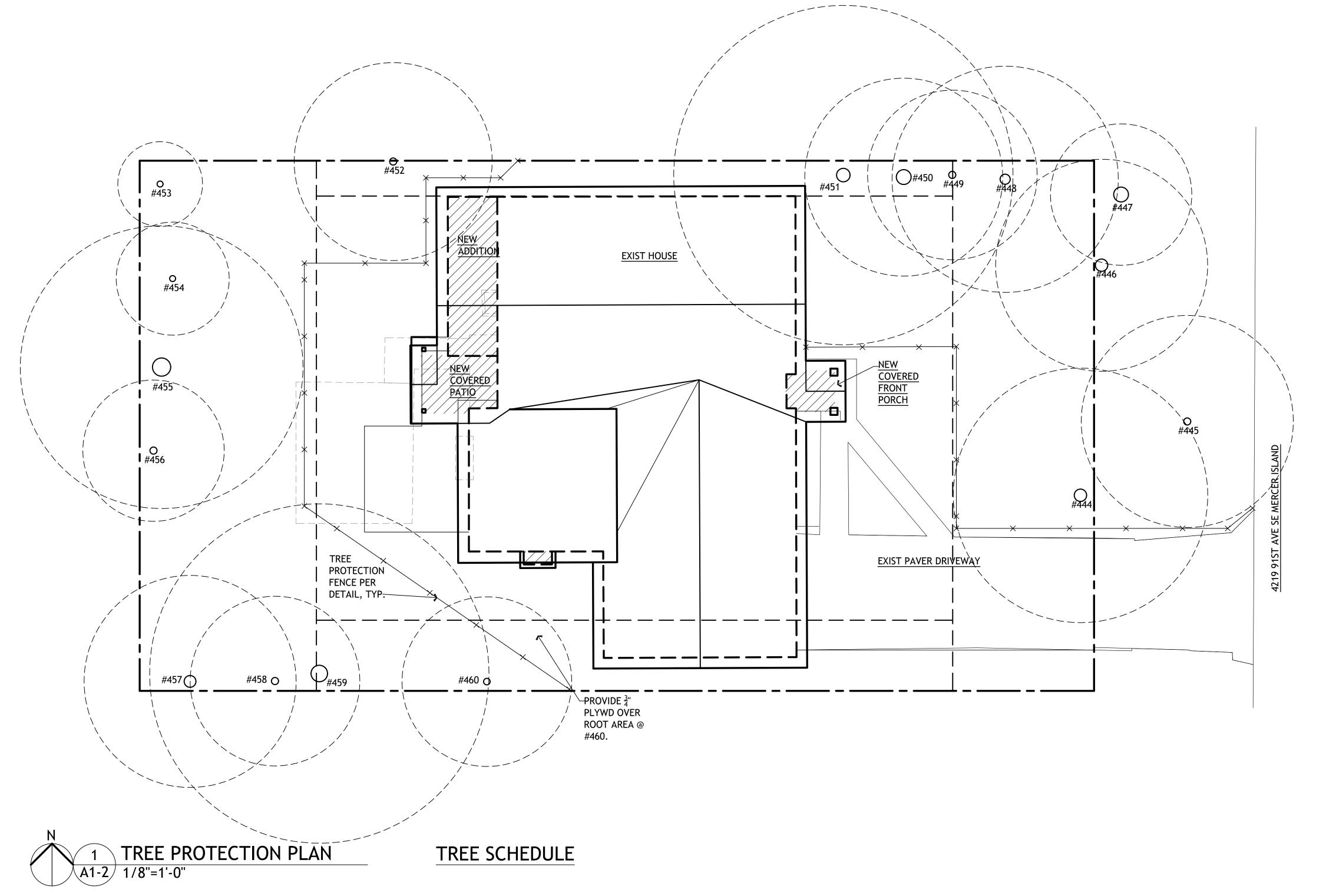
SHEET NUMBER 1 OF 1

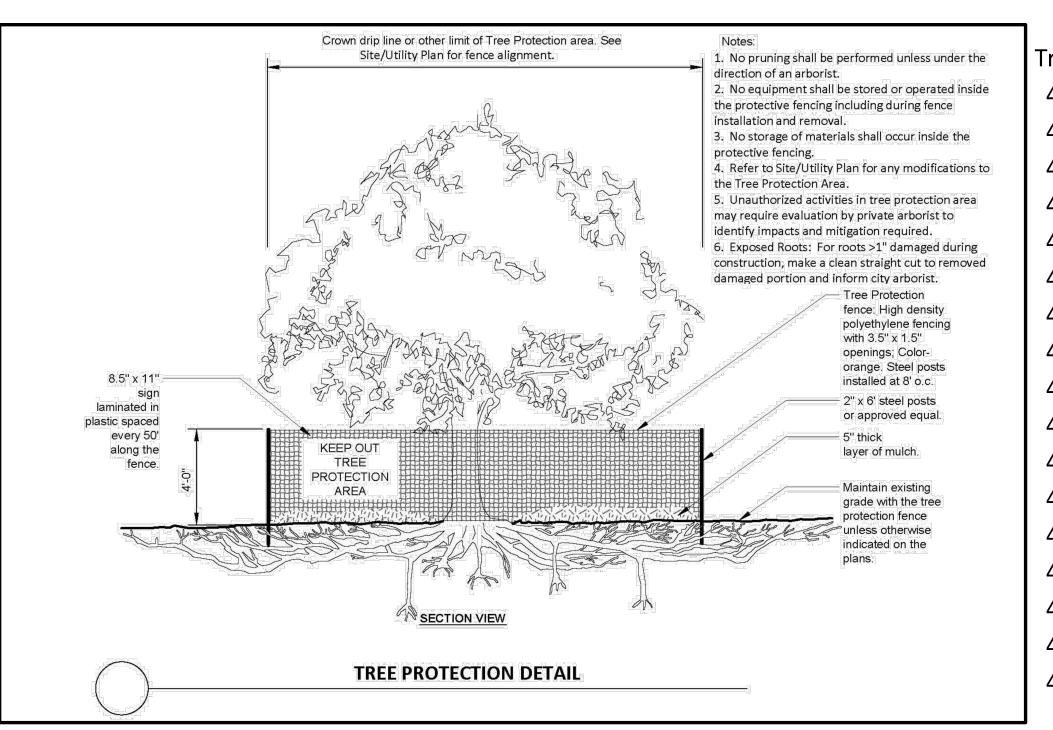
10/30/28 EAVE REVISION

10/12/18

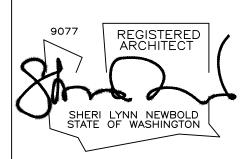
IDV-PSC EJG/TMM

1" = 10'





Tree #	Species	DBH	"Drpln Radius'	Condition	n Comments	Status
444	Douglas Fir	21	18'	Excellent	Off of driveway. Crown-cleaned	retain
445	Douglas Fir	12	15'	Poor	topped for utility clearance. Located Off-Site	retain
446	Douglas Fir	21	15'	Good	Two stems at the root collar. Sq root of {(stem)+(stem2)}	retain
447	douglas Fir	25	Under canopy	Poor	Out-competed	retain
448	Vestern Red Ceda	17	16'	Excellent	Excellent condition.	retain
449	Douglas Fir	12	12'	Good	Near property line, do not limb any higher	retain
450	Douglas Fir	25	14'	Good	Near property line, do not limb any higher	retain
451	Douglas Fir	23	24'	Good	Near property line, do not limb any higher	retain
452	Douglas Fir	12	14'	Fair	Crooked trunk, near building corner	retain
453	Douglas Fir	10	6'	Fair	large bark damage at base of tree. Tree has low vigor.	retain
454	Douglas Fir	10	8'	Fair	Crooked trunk.	retain
455	Douglas Fir	31	20'	Good	Wind broken tops several yrs ago. Bushy top now.	exceptional
456	Flowering Plum	12	10'	Fair	Typically full of suckers, minor old stom damage. Leaning toward light.	retain
457	Vestern Red Ceda	20	15'	Excellent	Excellent condition.	retain
458	Douglas Fir	12	12'	Fair	In canopy of tree #459.	retain
459	Douglas Fir	28	24'	Excellent	History of 'wind-sailing' and crown cleaning.	retain
460	Fruiting Fig	11	12	Good	Old large pruning cuts, typical of species.	retain





sustainable architecture interior design

live-work-play 9231 Evanston Avenue N

Seattle WA 98103

206 726 0077 sheri@live-work-play.net live-work-play.net

ence 98040

island,

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09/24/19 PERMIT SUBMIT 09/12/19 ENG BK CHECK 07/25/19 | SEND TO ENGR 06/04/19 BUDGETING

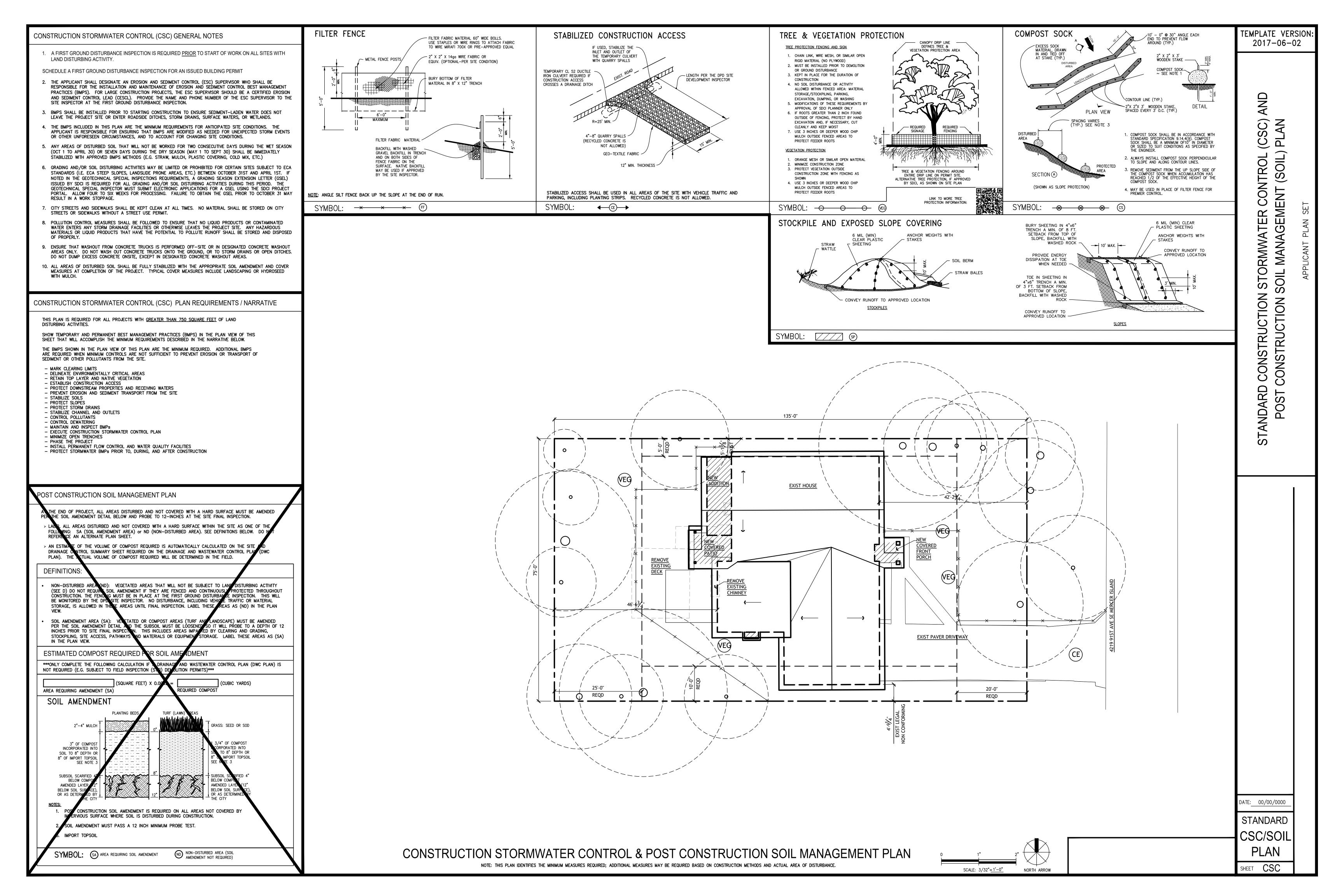


TABLE 406.2 CREDIT **SEE COVERSHEET A1-1**

ADDITION LESS THAN 500 SF = .5 POINTS REQUIRED. OPTION 3A: HIGH EFFICIENCY HVAC EQUIPMENT. GAS FIRED FURNACE 94% AFUE OR BETTER.

ENERGY CODE NOTES

- 1. SEC 402.4.1.2 TESTING "The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. Once visual inspection has confirmed sealing (see Table R402.4.1.1), operable windows and doors manufactured by small business shall be permitted to be sealed off at the frame prior to the test."
- 2. SEC 403.1 CONTROLS, MANDATORY- "At least one thermostat shall be provided for each separate heating and cooling system." SEE SEC 403.1.1 for forced air furnace requirements; see SEC 403.1.2 for heat pump requirements.
- 3. SEC 403.2.2 SEALING Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code as applicable. RESIDENTIAL ENERGY EFFICIENCY R-222012 WA **ENERGY CODE**

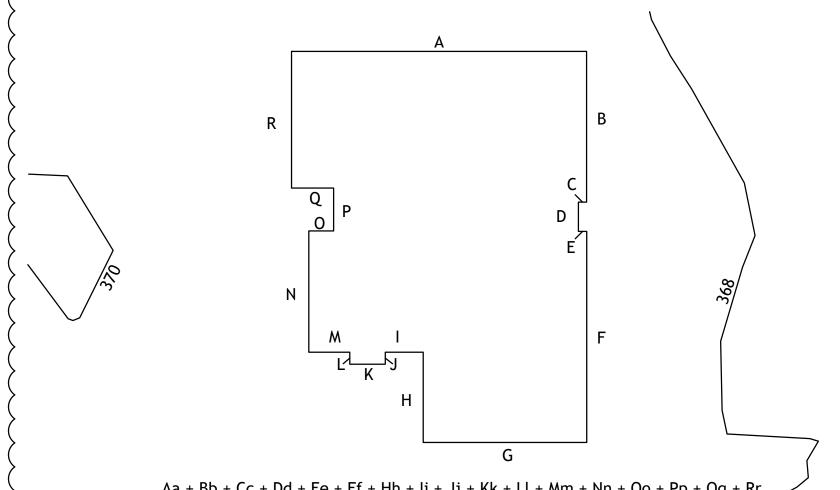
403.2.2 Sealing (Mandatory). "Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall complywith either the International Mechanical Code or International Residential Code as applicable. "

"Ducts shall be leak tested in accordance with WSU RS-33, using the maximum duct leakage rates specified. Duct tightness shall be verified by either of the following:

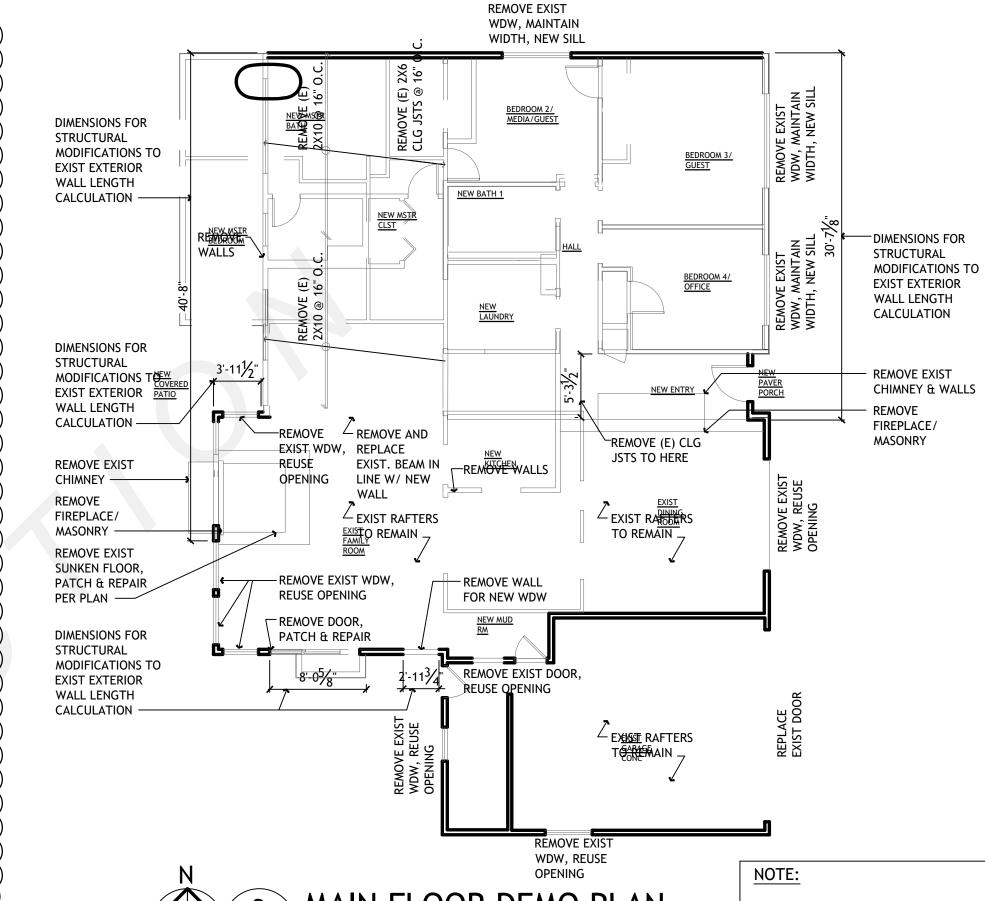
- 1. Postconstruction test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet(9.29 m2) of conditioned floor area when tested at a pressure Differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's airhandler enclosure. All register boots shall be taped orotherwise sealed during the test. Leakage to outdoorsshall be less than or equal to 4 cfm (113.3 L/min) per100 square feet (9.29 m 2) of conditioned floor area.
- Rough-in test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet(9.29 m2) of conditioned floor area when tested at apressure differential of 0.1 inches w.g. (25 Pa)across the system, including the manufacturer's air handler enclosure. All Registers shall be taped or otherwise sealed during the test. If the air handler is notinstalled at the time of the test, total leakage shall beless than or equal to 3 cfm (85 L/min) per 100square feet (9.29 m2) of conditioned floor

"Exception: The total leakage test is not required for ducts and air handlers located entirely within the building thermal envelope. Ducts located in crawl spaces do not qualify for this exception."

4. SEC 404.1 - "A minimum of 75 percent of the lamps in permanently installed lamps in lighting fixtures shall be high-efficacy lamps."



Aa + Bb + Cc + Dd + Ee + Ff + Hh + Ii + Jj + Kk + Ll + Mm + Nn + Oo + Pp + Qq + Rra+b+c+d+e+f+h+i+j+k+l+m+n+o+p+q+r $(368.7 \times 49.18) + (368.4 \times 25.13) + (368.5 \times 1.42) + (368.5 \times 4.89) + (368.5 \times 1.42) + (368.4 \times 1.42) + (368.4 \times 1.42) + (368.5 \times 1.42) + (3$ 35.15)+ (368.7×27.25) + (368.9×15.03) + (369.0×6.33) + (369.1×2.0) + (369.1×5.92) + (369.2×15.03) + (369.1×15.03) +(369.2.0)+ (369.2×6.82) + (369.3×20.19) + (369.3×4.13) + (369.3×7.15) + (369.3×7.00) + (369.2×22.79) 49.18+25.13+1.42+4.89+1.42+35.15+27.25+15.03+6.33+2.0+5.92+2.0+6.82+20.19+4.13+7.15+7.00+22.79 (18132.67)+(9257.89)+(523.27)+(1801.97)+(523.27)+(12949.26)+(10047.08)+(5544.57)+(2335.77)+(738.20)+(2185.08)+(738.40)+(2517.94)+(7456.17)+(1525.21)+(2640.50)+(2585.10)+(8414.07)243.80 89,916.42 ABE = 368.81AVERAGE BUILDING ELEVATION CALC A2-0/1/16"=1'-0"



MAIN FLOOR DEMO PLAN A2-0/1/8"=1'-0"

DIMENSIONS SHOWN ARE ONLY FOR EXIST. WALL LENGTH MOD. CALCULATION. SEE A2-1, ETC. FOR CONSTRUCTION DIMENSIONS.

DOOR SCHEDULE

CONTRACTOR TO VERIFY DOOR PACKAGE PRIOR TO PLACING ORDER VERIFY DOOR HARDWARE W/ OWNERS & ARCHITECT

DOOR		GLASS	PANEL SIZE			GLASS					<u>GL</u>	AZING SCHEI	DULE					_
NUMBE	R MATERIAL	TYPE	WIDTH	HEIGHT	THICK.	AREA	OPERATION	FINISH	NOTES	HARDWARE								
												CTOR TO VERIFY WDV						
												ENSIONS ARE APPROX			ELD VERIFIED	BYCO	NTRACTOR	
											WDWS A	RE MARVIN ULTIMATE	U=.30, VFY	COLOR				
001	MARVIN ULTIMATE	N/A	3'-0"	X 6'-8"	1-3/4"	N/A	SWING	VFY		ENTRY SET	HARDW	ARE TO BE DETERMINE	ED, SCREEN	1				
											ALL LAND E	3 44475044	MODEL		INT R.O. COLOR WID		R.O. HEIGHT	^ <u>_</u>
											NOMBE	R MATERIAL	MODEL#	COLOR	COLOR WID	111	HEIGHT /	1/1
002	FRANK LUMBER P-20	N/A	2'-8"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		VFY								
27.75		CLEAR						SUEDE,										
003	MARVIN ULTIMATE	TEMPER	RED 6'-0"	X 6'-8"	N/A	N/A	GLIDER	VFY		EXTERIOR PATIO	Α	MARVIN ULTIMATE		SUEDE	PRIMED 112.	125 X	(58.5	4
004	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY	В	MARVIN ULTIMATE		SUEDE	PRIMED 47	×	< 24	
005	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	NI / A	POCKET	PAINT		VFY	С	MARVIN ULTIMATE		SUEDE	PRIMED 34	×	K 34	
005	I KANN LUMBLE F-20	IN/A	3-0	Λ 0-0	1-1/2	IN/ A	POCKLI	PAINT		V1 1	_			OLIEDE		_		
											D	MARVIN ULTIMATE			PRIMED 35.7		(47	_1
006	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY	E	MARVIN ULTIMATE			PRIMED 35.7 PRIMED 48.7		< 47 < 47	1
											G	MARVIN ULTIMATE MARVIN ULTIMATE			PRIMED 48.7		< 47 < 47	<u> </u>
		CLEAR						SUEDE,			н	MARVIN ULTIMATE			PRIMED 48.7	I	< 47	_ <u>'</u>
007	MARVIN ULTIMATE	TEMPER	ED 5'-0"	X 6'-8"	N/A	N/A	GLIDER	VFY		EXTERIOR PATIO, EGRESS	J	MARVIN ULTIMATE			PRIMED 48.7		< 47	1
											K	MARVIN ULTIMATE			PRIMED 35.7		K 47	1
008	FRANK LUMBER P-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		VFY	L	MARVIN ULTIMATE			PRIMED 30.2		< 48	1
									\wedge		М	MARVIN ULTIMATE		SUEDE	PRIMED 30.2	5 X	< 48	1
000	CODEL FIRENCI ACC CHOOTI		21.6"	V 41 011	4 2 (4"	N. 7.4	C)4//).I.G	DAINIT		DASSAGE DEADDOLT								
009	CODEL FIBERGLASS SMOOTH	I N/A	2'-8"	X 6'-8"	1-3/4"	N/A	SWING	PAINT	FIRE-RATED, U=0.20, SELF CLOSING.	PASSAGE, DEADBOLT		A 4 A 5 D V (IA I I I I I I I I I I I I I I I I I I		CHEDE		SI	, 00 005	
											N	MARVIN ULTIMATE		SOEDE	PRIMED 31	X	(23.625	
010	CODEL FIBERGLASS SMOOTH	N/A	2'-8"	X 6'-8"	1-3/4"	N/A	SWING	PAINT	U=0.20	PASSAGE, DEADBOLT								
011	NOT USED	N/A	2'-8"	X 6'-8"	1 1 /2"	N/A	SWING	PAINT		VFY								
011	NOT USED	N/A	2-0	Λ 0-0	1-1/2"	IN/ A	SWING	PAINT		VFT	Р	MARVIN ULTIMATE		SUEDE	PRIMED 68.8	75 X	53.625	2
012	FRANK LUMBER P-20	N/A	PAIR 2'-6"	X 6'-8"	1-1/2"	N/A	BIFOLD	PAINT		VFY								
												MARVIN ULTIMATE		SUEDE	PRIMED 94.1	25 V	53.625	3
013	FRANK LUMBER BP-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT	7	VFY	Q	WARVIN OLTIWATE	+	OOLDL	PRIMED 94.1	25 ^	. 55.625	
										VFY SLIDING & OTHER								
014	FRANK LUMBER BP-20	N/A	PAIR 3'-0"	X 6'-8"	1-1/2"	N/A	SLIDING	PAINT		HARDWARE								
014	FRANK LUMBER BP-20	N/A	PAIR 3-0	Λ 0-0	1-1/2	N/A	SLIDING	DARK		HARDWARE								
	NORTHWEST GARAGE DOOR	SATIN			STANDA			BRONZE		VFY CLOSER & OTHER	R	MARVIN ULTIMATE		SUEDE	PRIMED 70.2	5 X	53.625	2
015	MC44	ETCH	16'-0"	X 7'-0"	RD	N/A	GARAGE	ANODIZED	EXISTING OPENING. VFY ALL SIZES & MAT'LS	HARDWARE								
											S	VELUX	FCM2246	NA	NA 24	X	K 44.125	
											_	VELUX	FCM2246	ΝΔ	NA 24	\ \ \ \ \ \ \	< 44.125	
016	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY	<u> </u>	VLLOX	1 CIVIZZ40	INA	11/1 24	^	44.125	
											V	VELUX	FCM2246	NA	NA 24	X	K 44.125	
017	FRANK LUMBER P-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY								
017	I KANN LUMBER P-20	IN/A	2-0	V 0-0	1-1/2	IN/ A	SWING	PAINT		PRIVACI	W	VELUX	FCM2246	NA	NA 24	X	44.125	
											V	VELLIX	ECM2246	NA	NA 22.5	l N	/ /46.5	
018	FRANK LUMBER P-20	N/A	2'-8"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY	Y	VELUX	FCM2246	INC	NA 22.5	X	46.5	—
											z	SOLATUBE	290 DS	NA	NA 14.7	5 DIA		
019	FRANK LUMBER P-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY								

GLAZING SCHEDULE

VDWS ARE MARVIN ULTIMATE U=.30, VFY COLOR HARDWARE TO BE DETERMINED, SCREENS TO BE TRUSCENE EXT INT R.O. HEIGHT AREA NUMBER MATERIAL MODEL# COLOR COLOR WIDTH **OPERATION** MULLED TOGETHER (2) DBL HUNG + VFY SIZE, EXIST R.O., MARVIN ULTIMATE SUEDE | PRIMED | 112.125 | X | 58.5 45.55 SF FIXED SEE ELEV SUEDE | PRIMED | 47 VFY SIZE, EXIST R.O. MARVIN ULTIMATE 7.83 SF SLIDER SUEDE | PRIMED | 34 VFY SIZE, EXIST R.O. 8.03 SF SLIDER MARVIN ULTIMATE MATCH & ALIGN W/ EXIST WDW 'E' MARVIN ULTIMATE SUEDE PRIMED 35.75 11.67 SF DBL HUNG VFY SIZE, EXIST R.O. SUEDE PRIMED 35.75 11.67 SF DBL HUNG MARVIN ULTIMATE VFY SIZE, EXIST R.O. SUEDE PRIMED 48.75 X 47 MARVIN ULTIMATE 15.91 SF (2) DBL HUNG SUEDE PRIMED 48.75 VFY SIZE, EXIST R.O. 15.91 SF (2) DBL HUNG MARVIN ULTIMATE SUEDE PRIMED 48.75 X 47 MATCH G 15.91 SF (2) DBL HUNG MARVIN ULTIMATE MATCH G MARVIN ULTIMATE SUEDE PRIMED 48.75 X 47 15.91 SF (2) DBL HUNG SUEDE PRIMED 35.75 X 47 VFY SIZE, EXIST R.O. 11.67 SF 1 DBL HUNG MARVIN ULTIMATE SUEDE PRIMED 30.25 X 48 CUDH-NG2420 10.08 SF DBL HUNG MARVIN ULTIMATE SUEDE PRIMED 30.25 CUDH-NG2420 10.08 SF DBL HUNG MARVIN ULTIMATE VFY., OBSCURE SUEDE | PRIMED | 31 GLASS, CUAWN3024 MARVIN ULTIMATE 5.09 SF AWNING X 23.625 MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH. CUCA2854 E @ EGRESS SUEDE PRIMED 68.875 CASEMENT 25.65 SF OX MARVIN ULTIMATE X 53.625 MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH. CUCA2854 E @ EGRESS SUEDE | PRIMED | 94.125 | X | 53.625 | CASEMENT MARVIN ULTIMATE MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH. CUCA2854 E @ EGRESS CASEMENT MARVIN ULTIMATE SUEDE PRIMED 70.25 X 53.625 26.16 SF OX FIXED, VFY SIZE, EXIST R.O. FCM2246 NA 44.125 7.35 SF SKYLIGHT **VELUX** FIXED, VFY SIZE, FCM2246 NA 7.35 SF SKYLIGHT **VELUX** FIXED, VFY SIZE, EXIST R.O. **VELUX** FCM2246 NA 44.125 7.35 SF SKYLIGHT FCM2246 NA 44.125 7.35 SF SKYLIGHT **VELUX** 7.27 SF SKYLIGHT FIXED, VFY SIZE, **VELUX** FCM2246 NA 22.5 46.5

SF SOLATUBE

FIXED, VFY SIZE,

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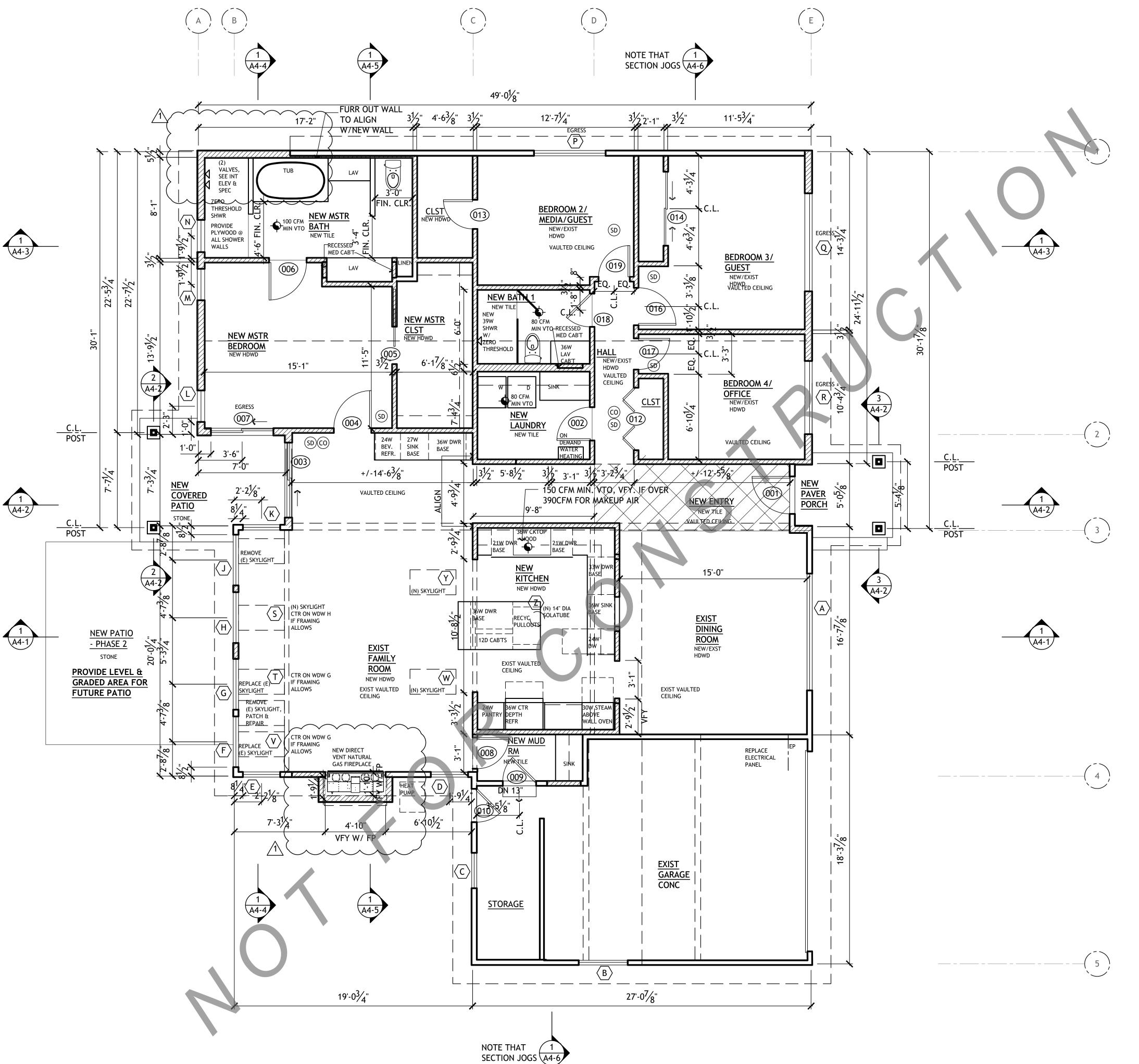
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MAIN FLOOR PLAN

A2-1 1/4" = 1'-0"

FLOOR PLAN NOTES

- 1. ALL DIMS ARE TO FACE OF STUD UNLESS NOTIFIED OTHERWISE (U.N.O.)
- 2. ALL HEADERS TO BE INSULATED TO R-10 MIN.
- 3. ALL WDWS & DOORS TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
- 4. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
- 5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS. ALL OPENED EXIST WALLS TO BE FILLED W/ R-13 BATTS.
- 6. AIRSEALING PER OR BEYOND CODE.
- 7. SEE STRUCTURAL NOTES FOR ADDITIONAL INFO.

SMOKE DETECTORS: (SD)

- ALL SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH IRC R314.
- IRC 314.2.2 DWELLING UNIT IS REQUIRED TO INSTALL SMOKE ALARMS AS REQUIRED FOR NEW CONSTRUCTION AND BE HARDWIRED AND INTERCONNECTED.
- IRC 314.3.4 SMOKE ALARM LOCATION TO BE AT LEAST 3 FEET HORIZONTALLY FROM BATHROOM DOORS TO BATHROOMS WITH TUBS OR SHOWERS.

CARBON MONOXIDE DETECTORS: (CO)

CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH IRC R315.

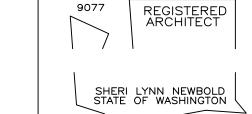
> M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.

ELECTRICAL/ LIGHTING NOTES

- 1. ELECTRICAL PANEL TO BE REPLACED.
- 2. ASSUME ALL WIRING TO BE REPLACED.
- 3. ALL NEW LIGHTING IN ALL ROOMS TO BE ADDED. AT PUBLIC SPACES AND MASTER BEDROOM, ASSUME MULTIPLE LIGHT FIXTURES PER SPACE AND UNDERCABINET LIGHTING AT THE KITCHEN.
- 4. ALL LIGHTING WILL BE DEDICATED LED FIXTURES OR HAVE LED LAMPING.

PLUMBING NOTES

- 1. ALL ROUGH PLUMBING TO BE REPLACED EVEN IF A TRIM IS NOT BEING REPLACED.
- 2. VERIFY IF WATER LINE NEEDS TO BE REPLACED FROM METER TO HOUSE.
- 3. KITCHEN AND ALL NEW/ REMODELED BATHROOMS WILL HAVE KOHLER/ GROHE/ HANSGROHE FIXTURES.
- 4. SEE PLANS FOR ANY FURTHER NOTES.





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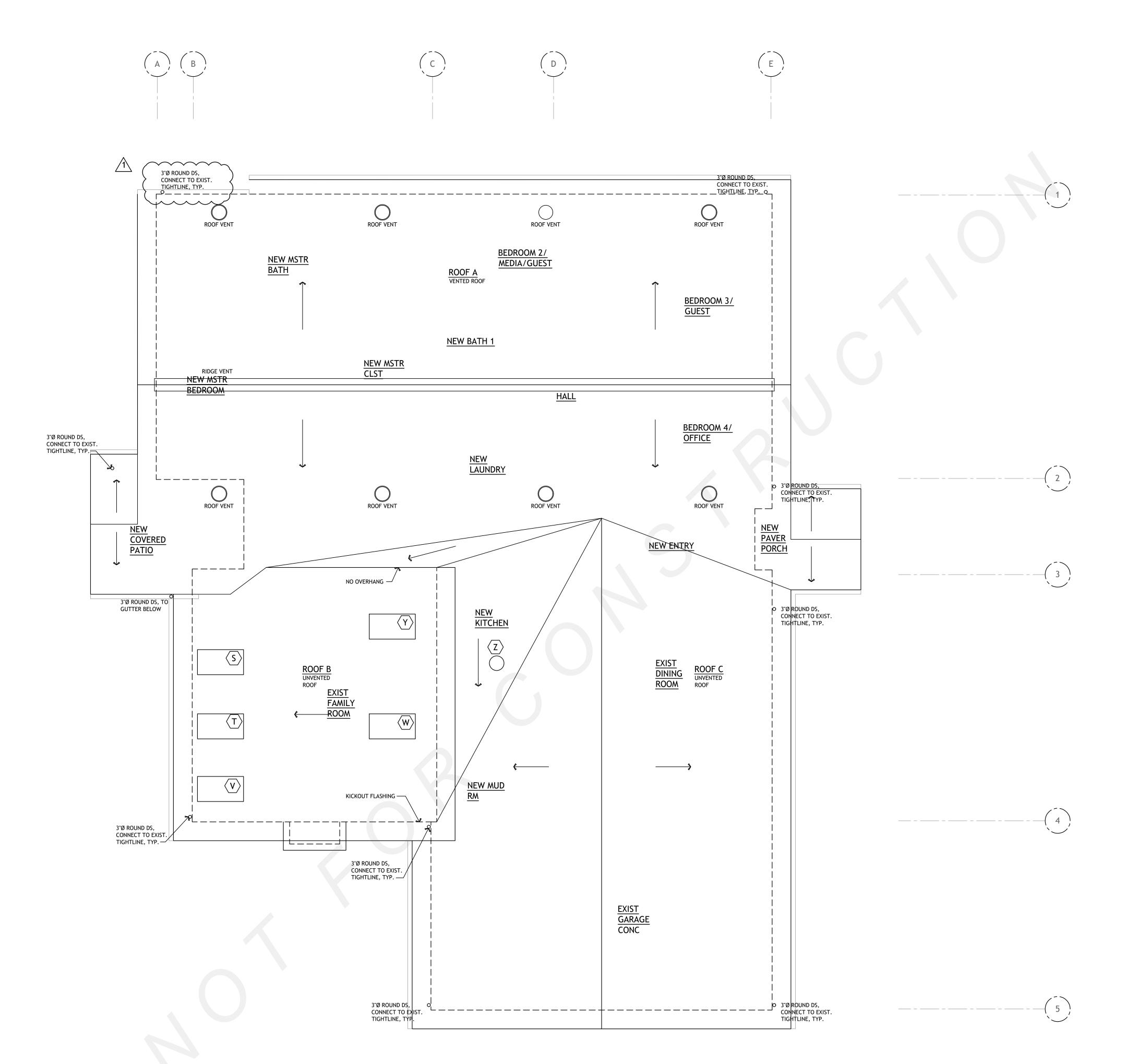
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ROOF A - 1677.0 SF 1677.0 SF/ 150 SF= 11.18 SF 11.18 SF X 144= 1609.92 SQ IN NFVA

<u>UPPER VENTING RIDGE VENT</u> (536.64 MIN) EZ VENT-N-CLOSURE, 12 SQ IN NFVA PER LINEAR FOOT 52 FT RIDGE * 12 = 624 SQ IN

LOWER VENTING NORTH (536.64 MIN) (4) AIRVENT B-144 METAL DOME VENTS, 144 SQ IN EACH. 144 * 4 = 576 SQ IN

LOWER VENTING SOUTH (536.64 MIN) (4) AIRVENT B-144 METAL DOME VENTS, 144 SQ IN EACH. 144 * 4 = 576 SQ IN

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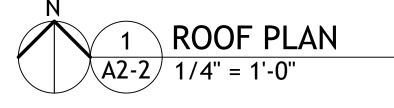
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7. REFER TO 4/S3.1 WHERE PIPES PENETRATE FOUNDATION.

3. ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.

5. REINFORCE FOOTING AND WALL CORNERS AND

6. "HDUx REFERS TO HOLDOWNS PER 9/S3.1

INTERSECTIONS PER 11/S3.1.

4. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL

2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS

UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.

8. CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.

9. FLOOR FRAMING AT CRAWLSPACE TO BE 2x10 @ 16" O.C. U.N.O.

CRAWL SPACE VENTING:

(1) VENT @ 100 SQ IN

EXISTING: 2045.1 SF

(10) VENTS @ 100 SQ IN

FOUNDATION PLAN NOTES

REQUIREMENTS (S1.1).

NORTHWEST ADDITION: 134.8 SF

AREA/300 = 6.82 SF = 981.65 SQ IN

VFY (10) VENTS TOTAL @ EXIST FDN

AREA/300 = .45 SF = 64.7 SQ IN

1 SF/300 SF

10. FLOOR SHEATHING SHALL BE ¾" T&G PLYWOOD SHEATING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES w/ 8D

COMMON (0.131" DIA. X 2 ½") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/S4.1)

11. CRAWLSPACE VENTILATION SHALL BE PROVIDED PER ARCH.

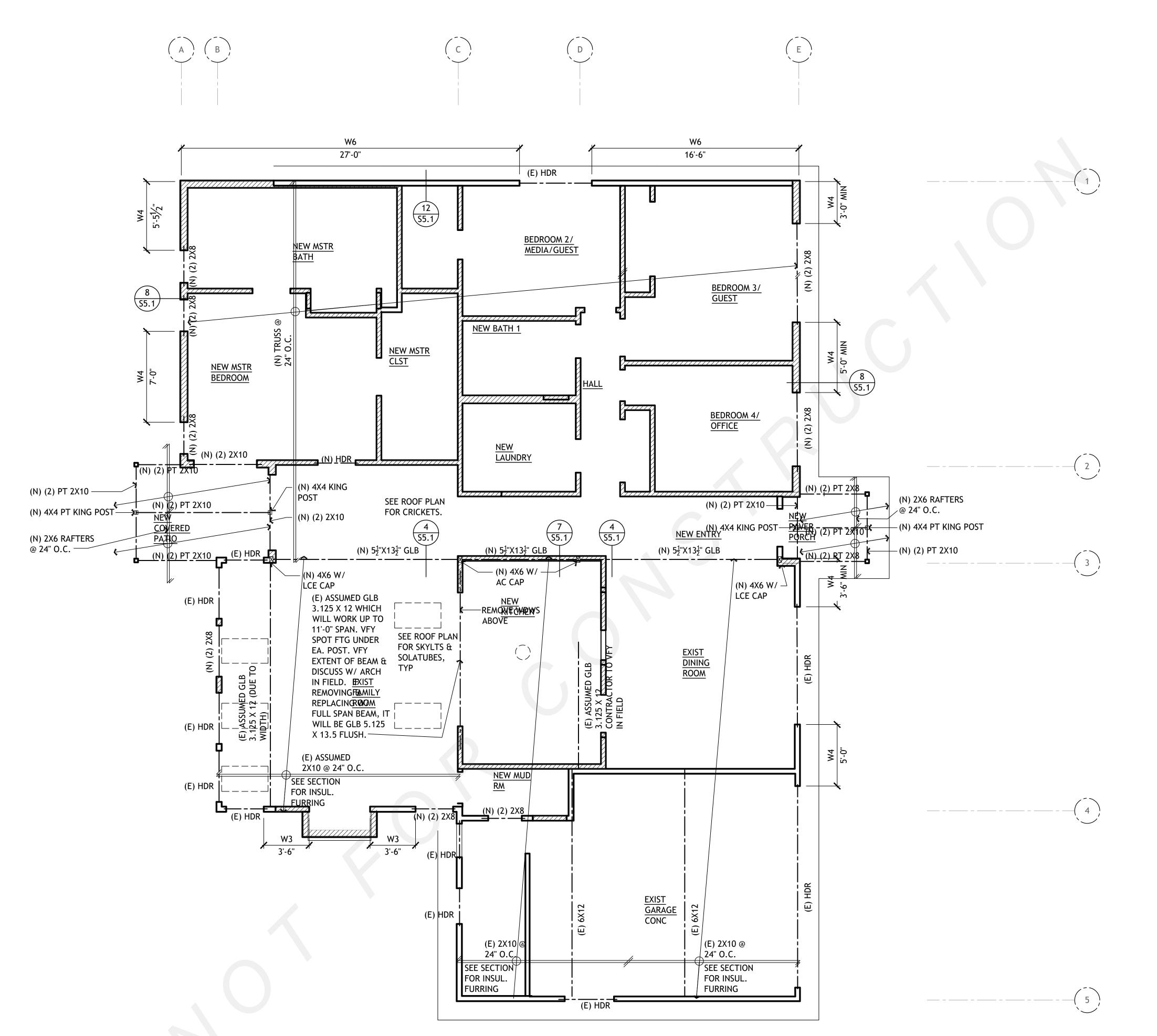
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SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL

COMMON (0.131" Dia. X 2 ½") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/S4.1)

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL

2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS

UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.

4. NEW ROOF SHEATHING SHALL BE 4/8" CDX PLYWOOD

NEW ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. (TRUSS DESIGN BY OTHERS U.N.O.).

5. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NEW NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.

6. ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2x8. (REFER TO DETAIL 6/S4.1)

7. PROVIDE TOP PLATE SPLICES PER 5/S4.1

ROOF PLAN NOTES

REQUIREMENTS (S1.1)

8. WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/4'-0" MAX SPAN. (REFER TO DETAIL 11/s5.1 FOR CONNECTION OF OVERFRAMING TO PRIMARY ROOF)

9. REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.

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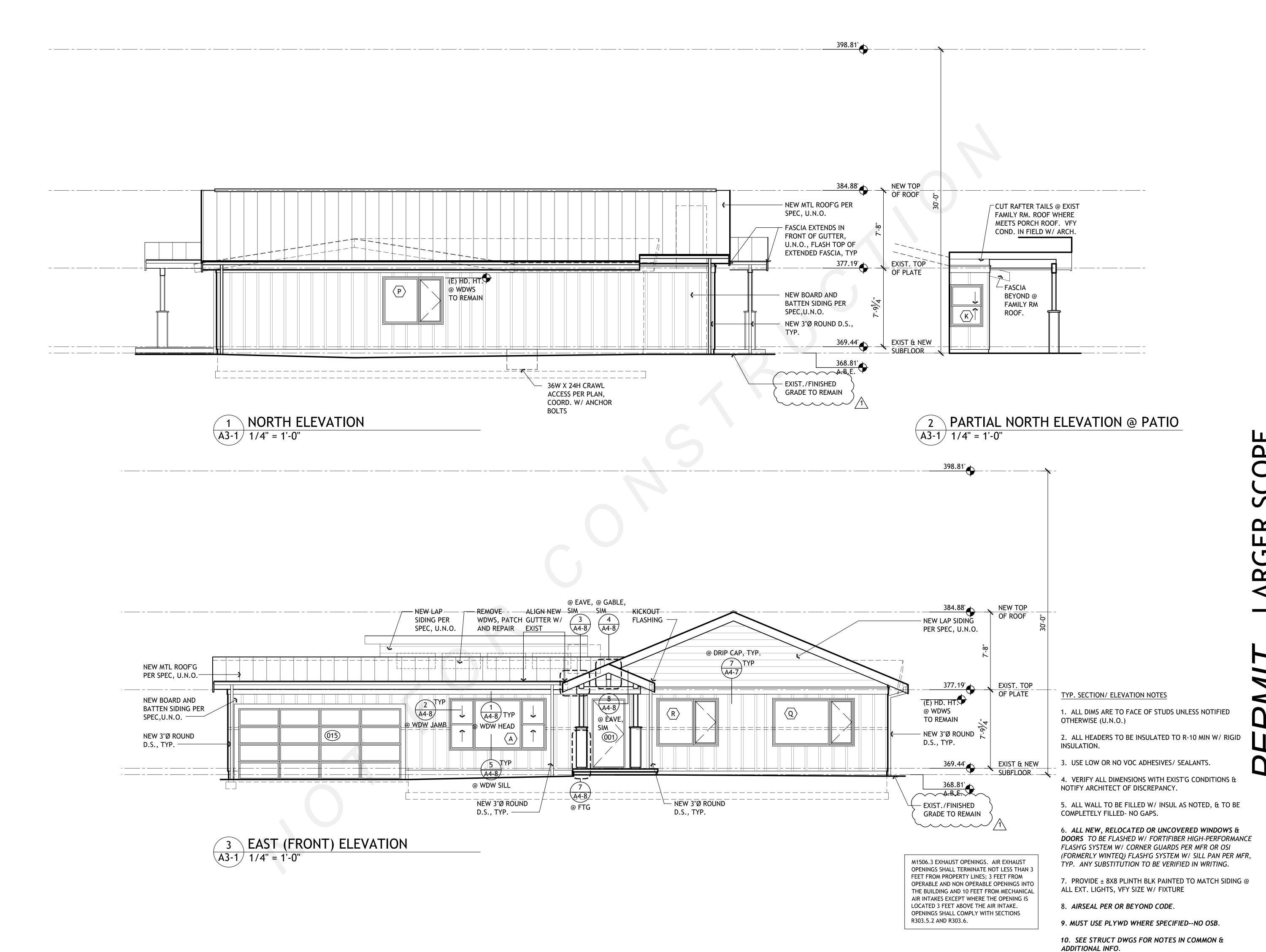
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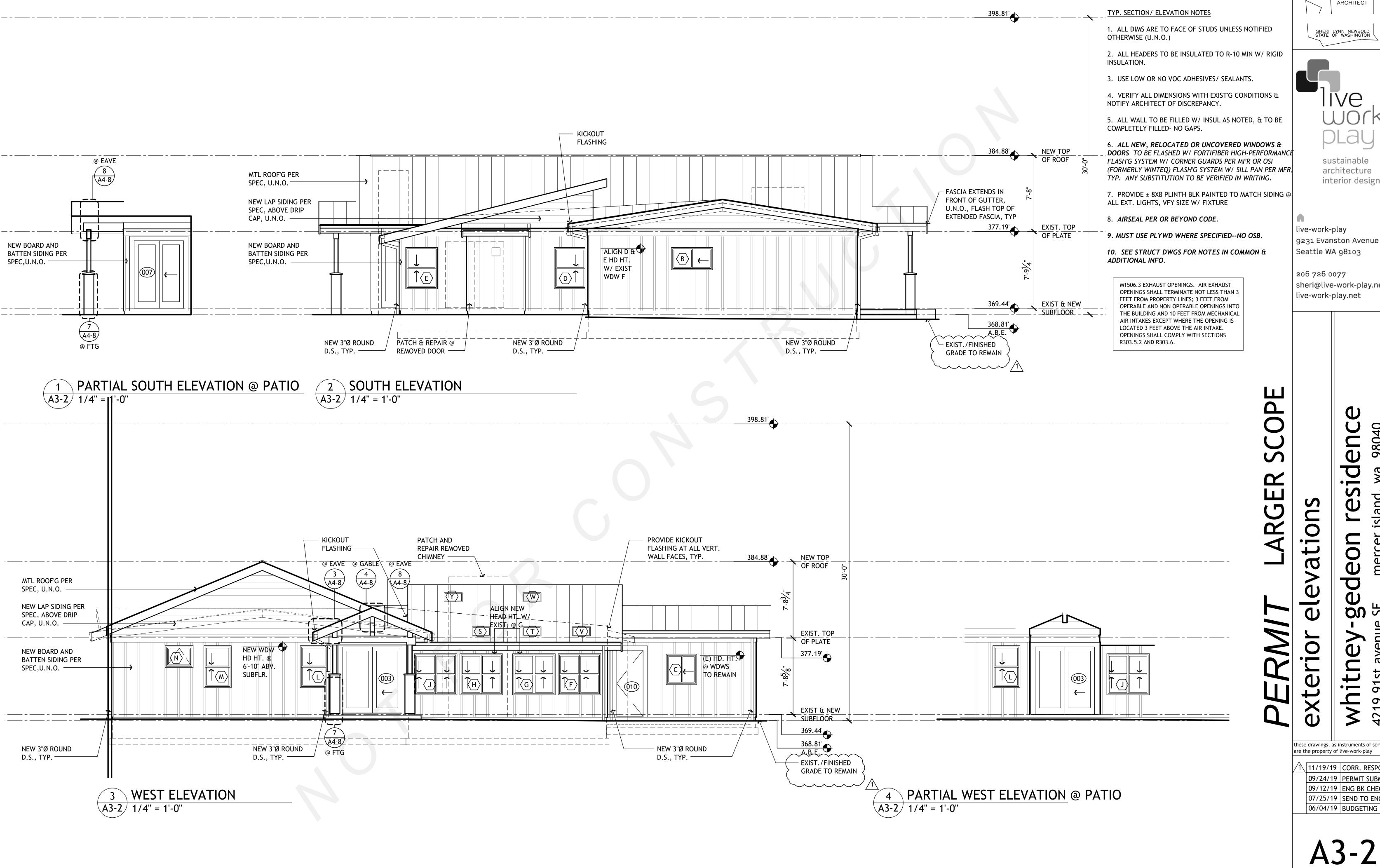
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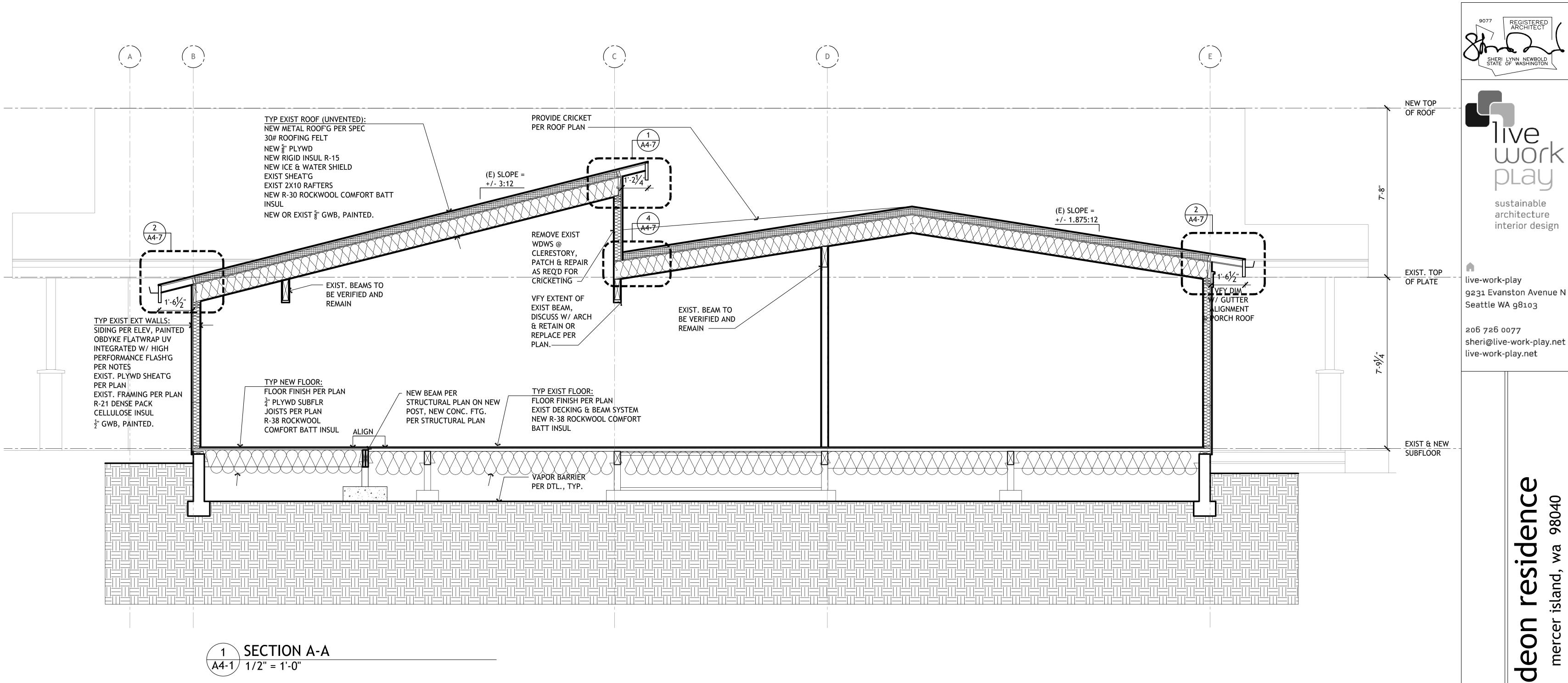
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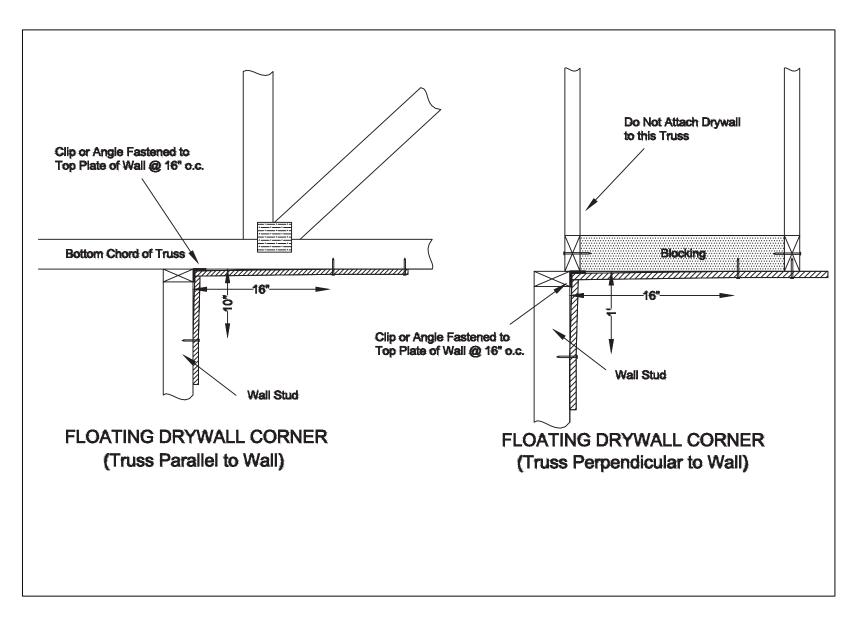
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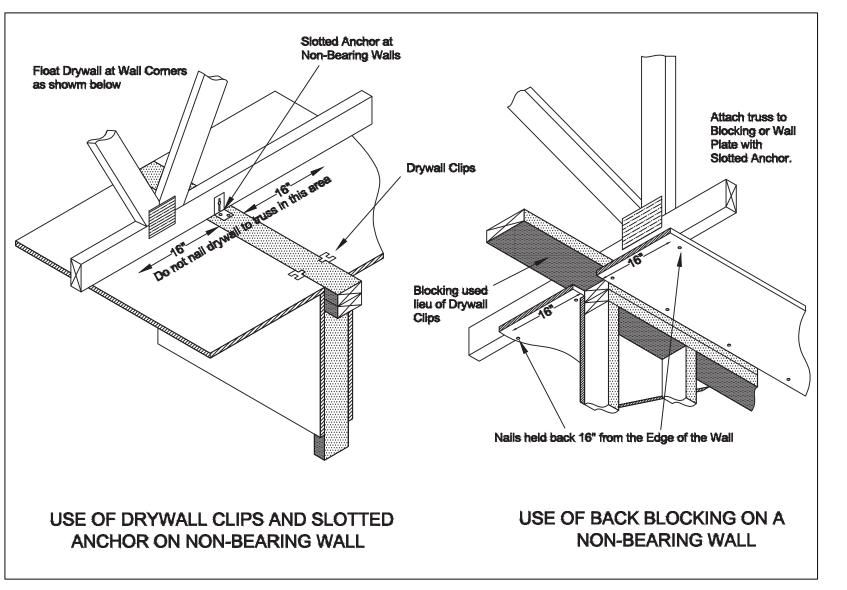
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- 2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
- 3. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
- 4. VERIFY ALL DIMENSIONS WITH EXIST'G CONDITIONS & NOTIFY ARCHITECT OF DISCREPANCY.
- 5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS.
- 6. ALL NEW, RELOCATED OR UNCOVERED WINDOWS & **DOORS** TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
- 7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
- 8. AIRSEAL PER OR BEYOND CODE.
- 9. MUST USE PLYWD WHERE SPECIFIED--NO OSB.
- 10. SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.





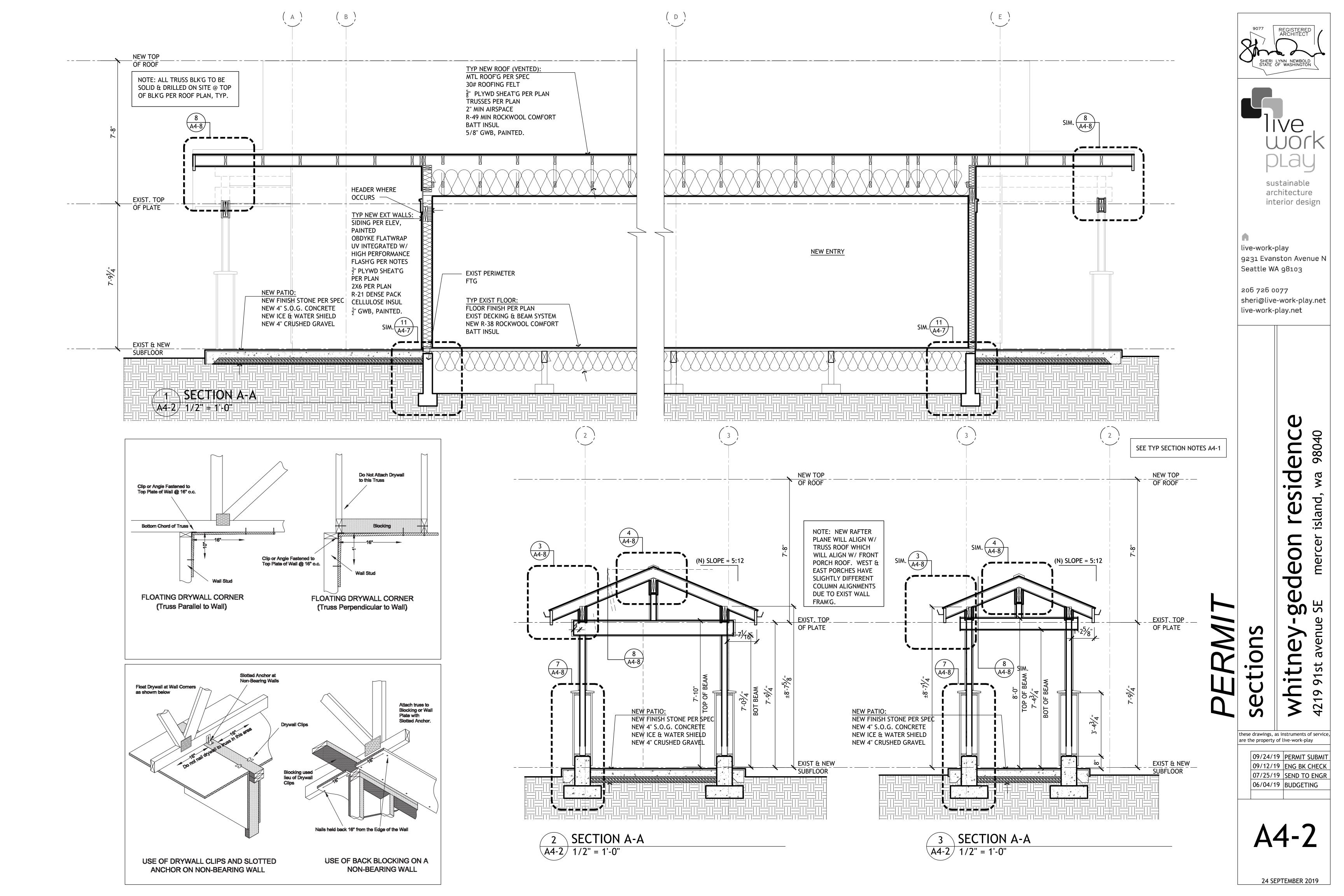
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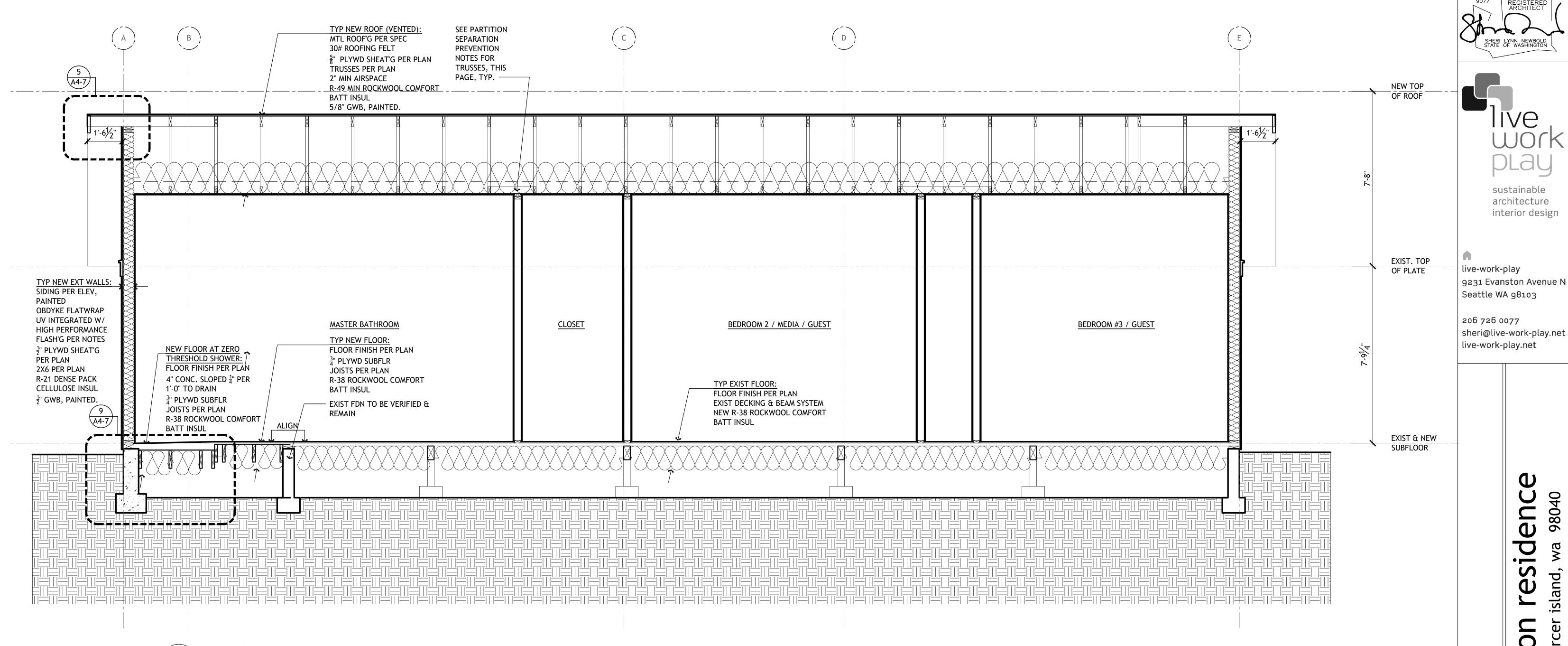
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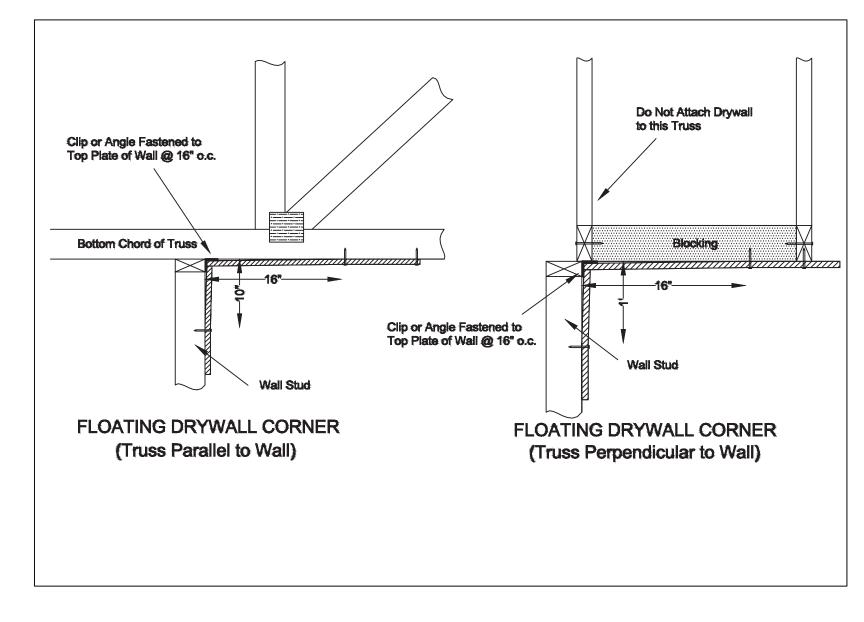


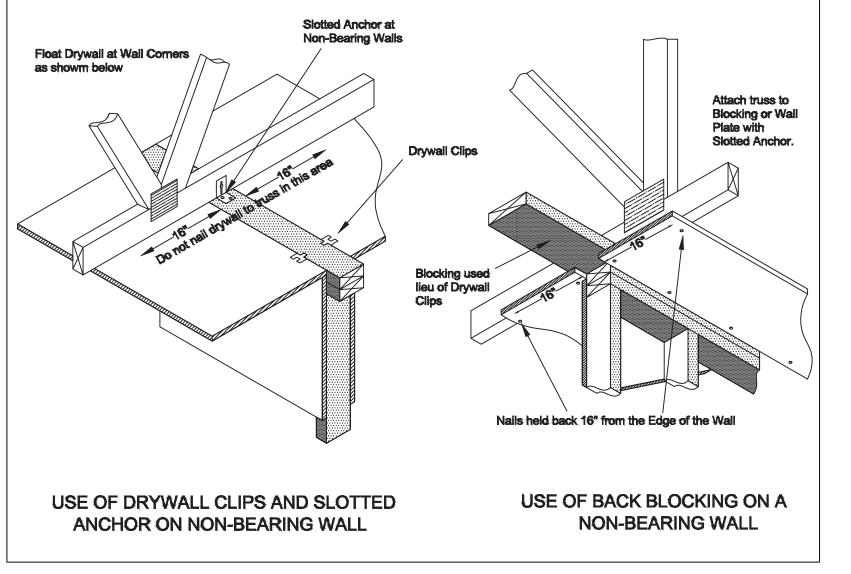


1 SECTION A-A A4-3 1/2" = 1'-0"

TYP. SECTION/ ELEVATION NOTES

- 1. ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
- 2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
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- 7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
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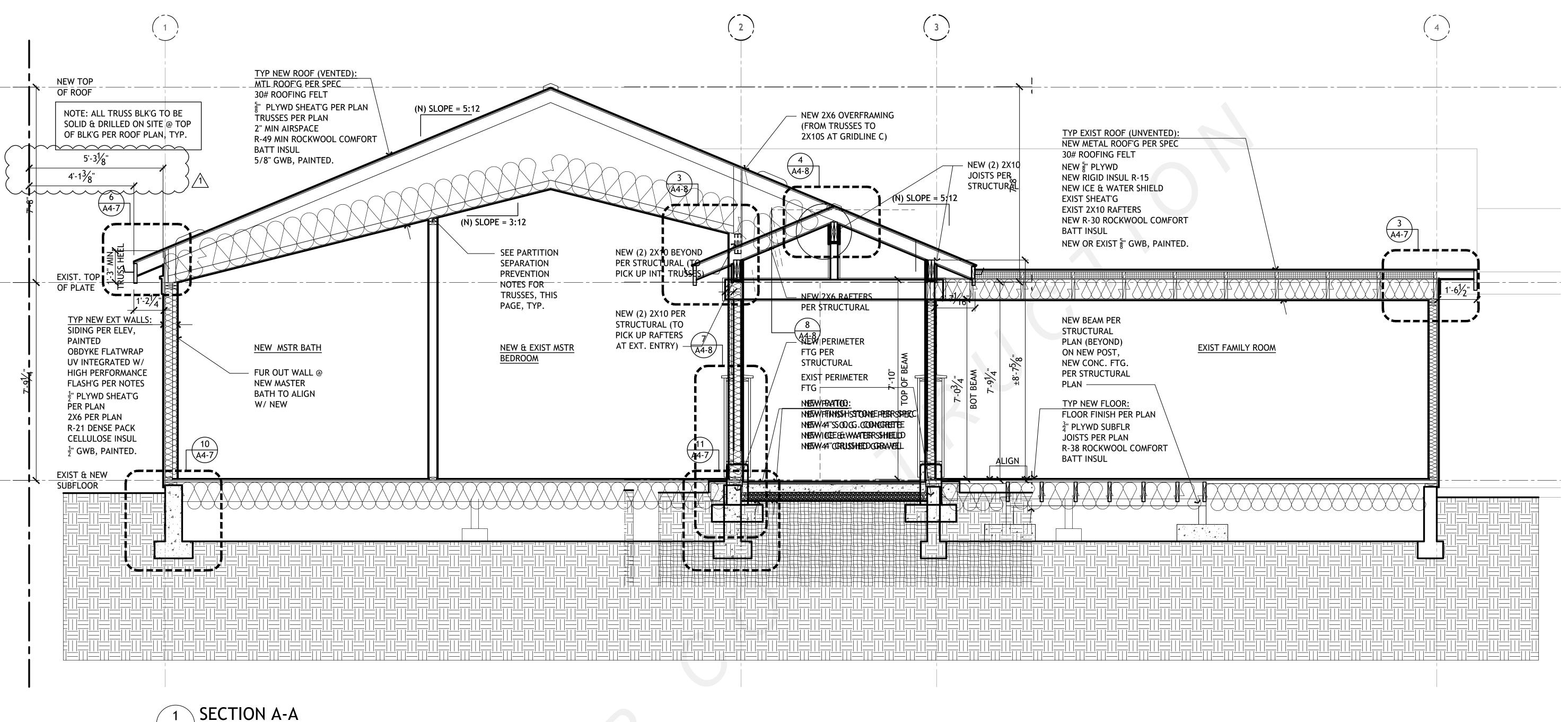
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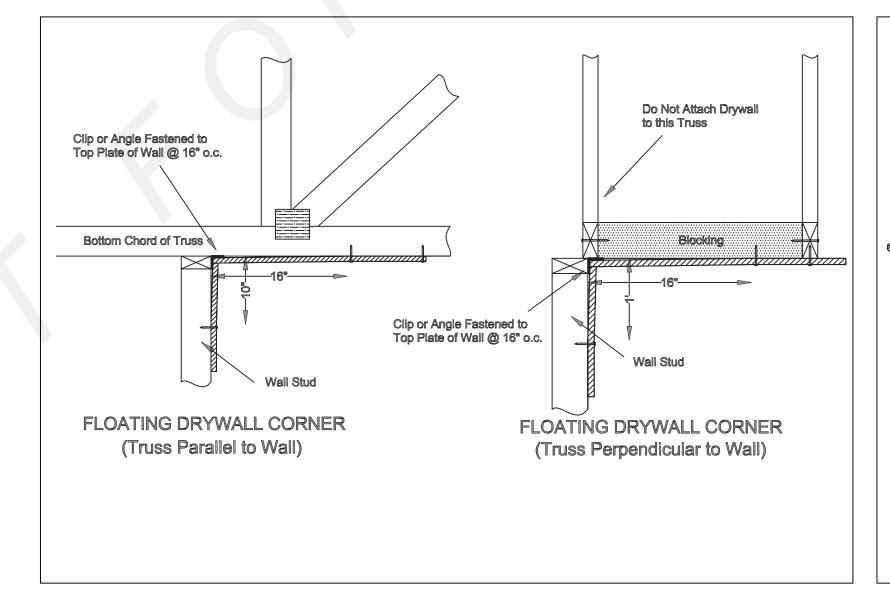
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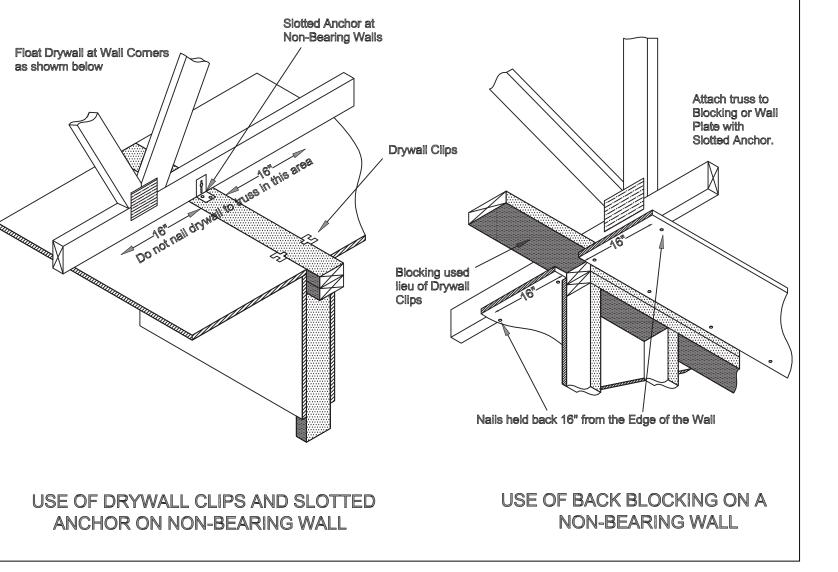


1. ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)

A4-4/1/2" = 1'-0"

- 2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
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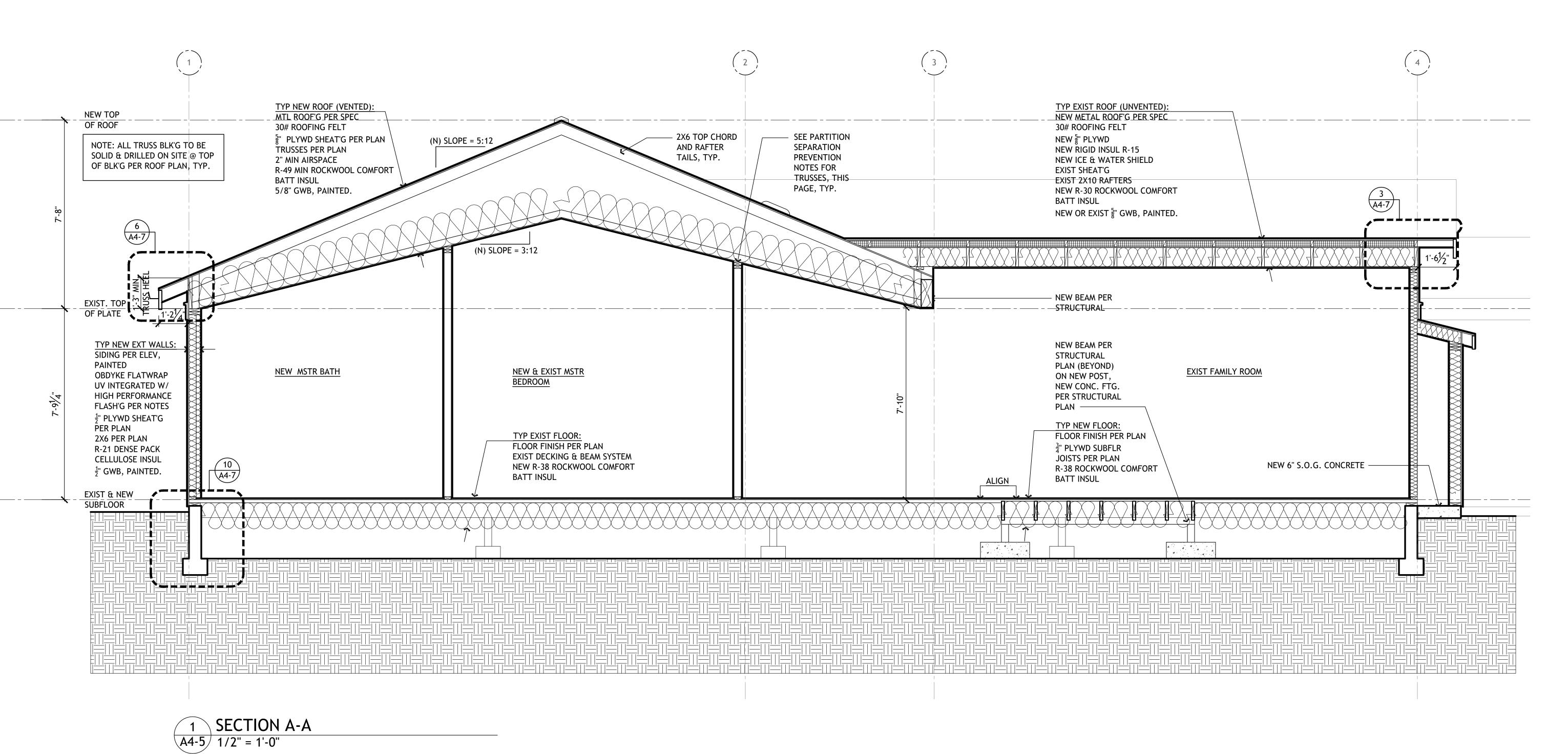
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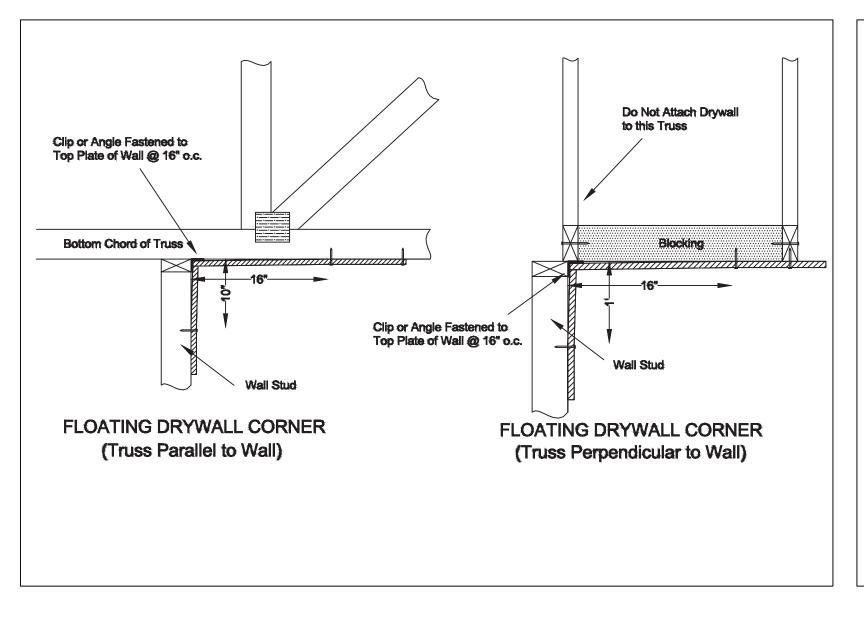
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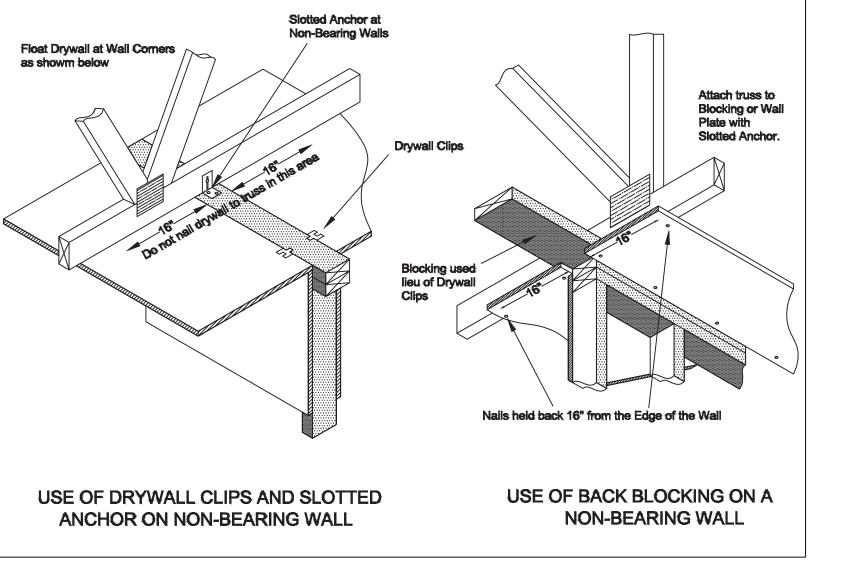
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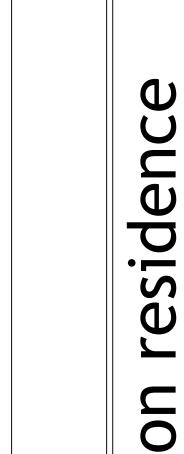


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- 7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
- 8. AIRSEAL PER OR BEYOND CODE.
- 9. MUST USE PLYWD WHERE SPECIFIED--NO OSB.
- 10. SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.







sustainable architecture

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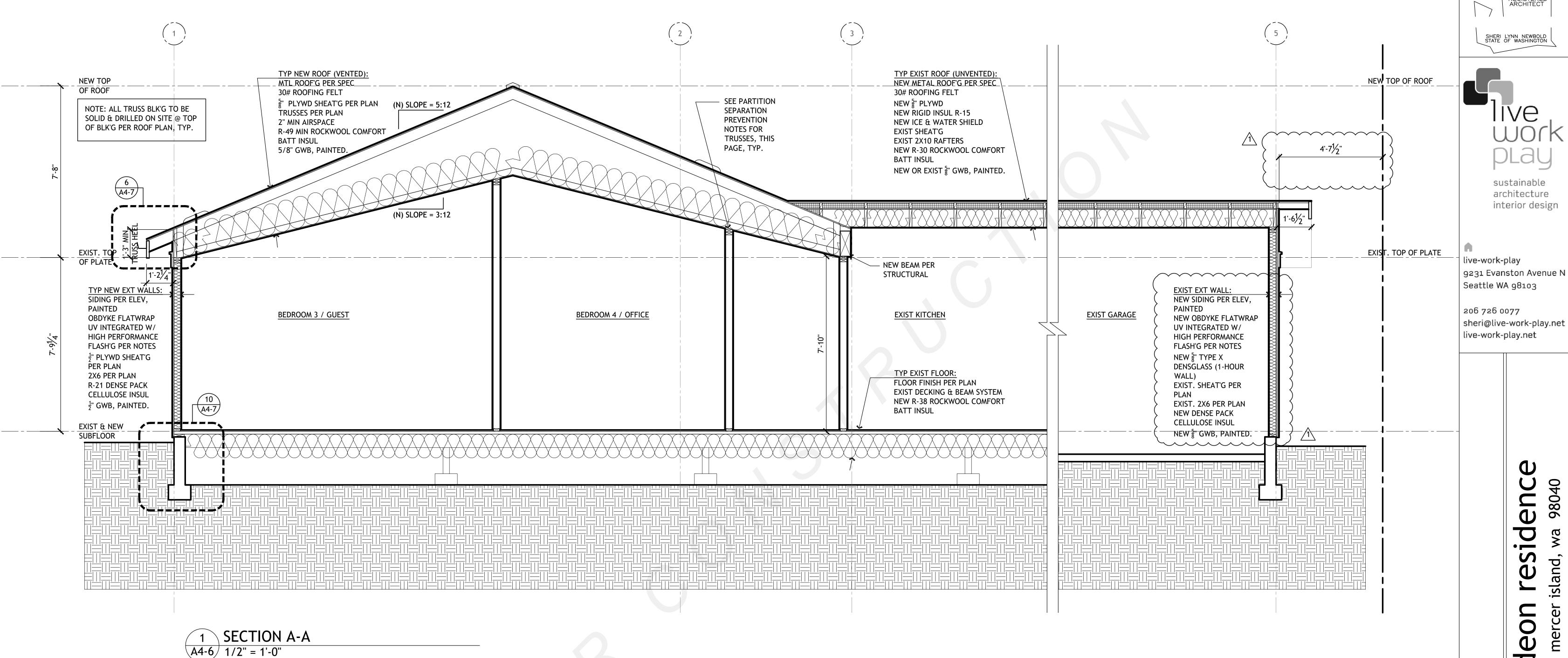
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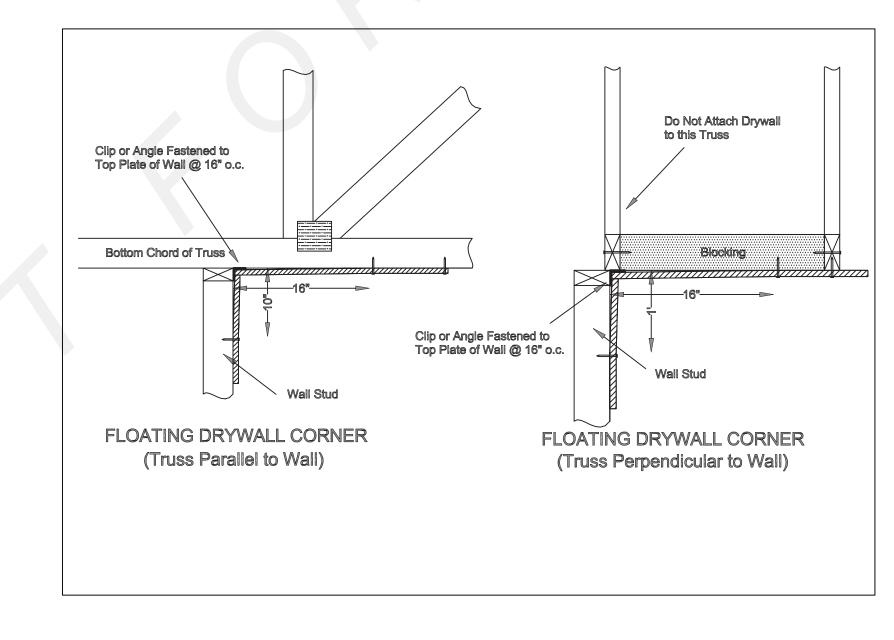
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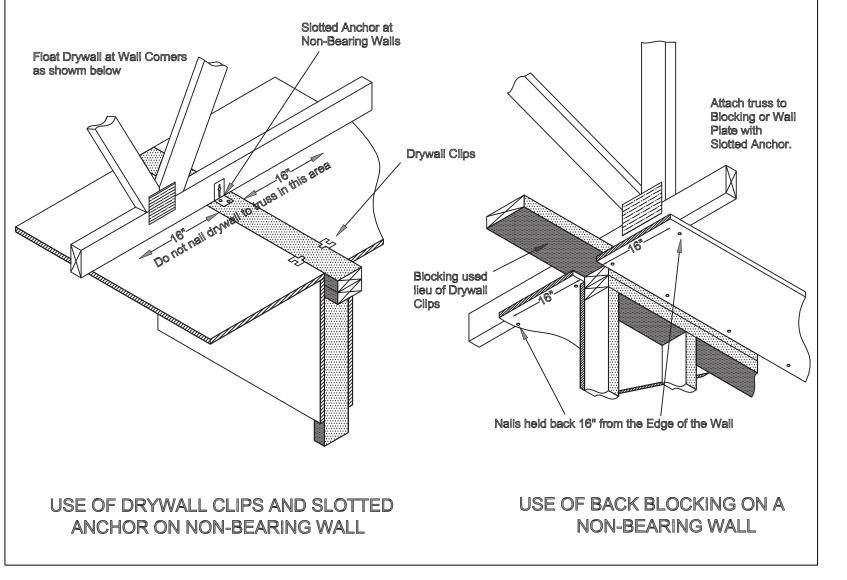
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44-5



- 1. ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
- 2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
- 3. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
- 4. VERIFY ALL DIMENSIONS WITH EXIST'G CONDITIONS & NOTIFY ARCHITECT OF DISCREPANCY.
- 5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS.
- 6. ALL NEW, RELOCATED OR UNCOVERED WINDOWS & **DOORS** TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
- 7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
- 8. AIRSEAL PER OR BEYOND CODE.
- 9. MUST USE PLYWD WHERE SPECIFIED--NO OSB.
- 10. SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.





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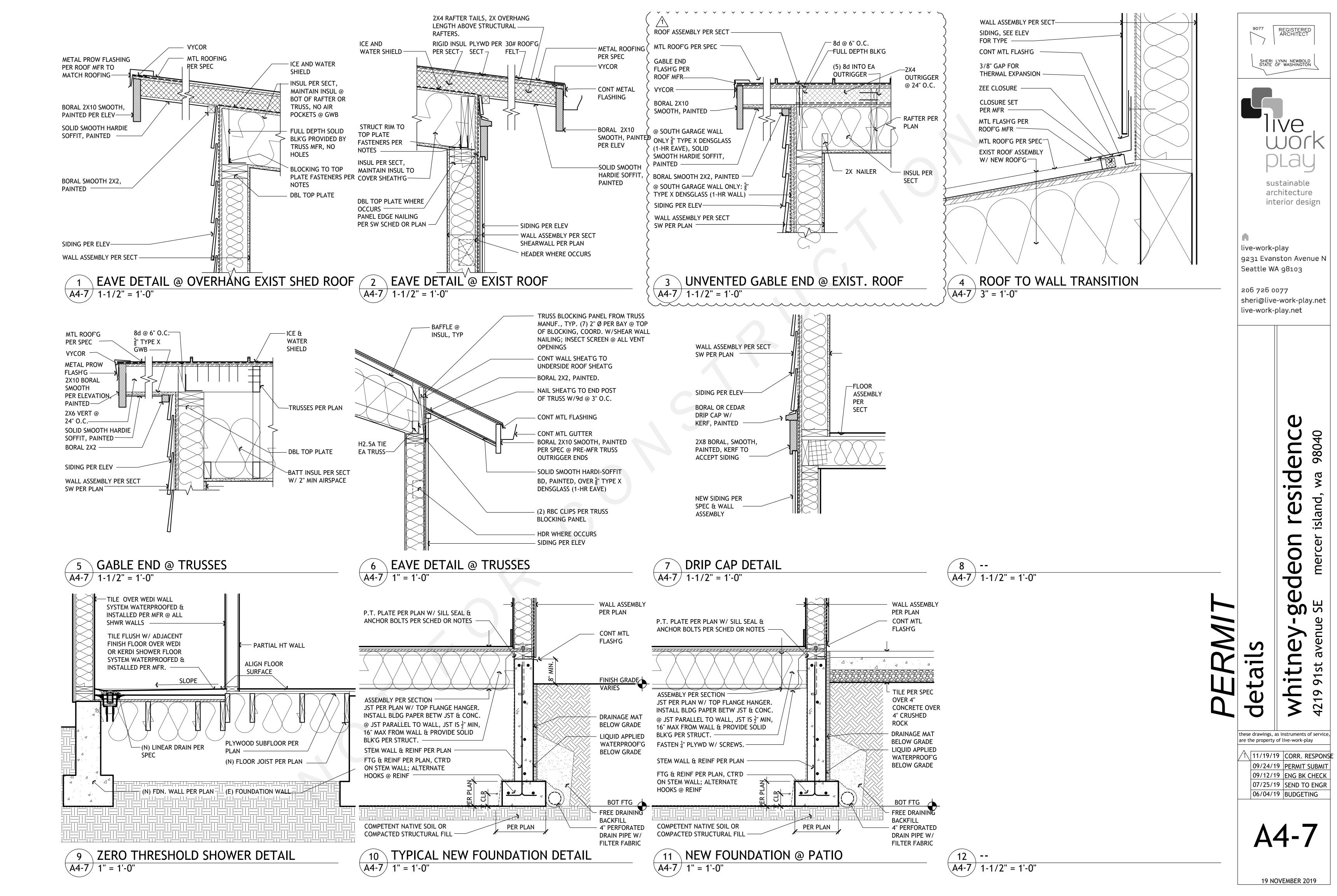
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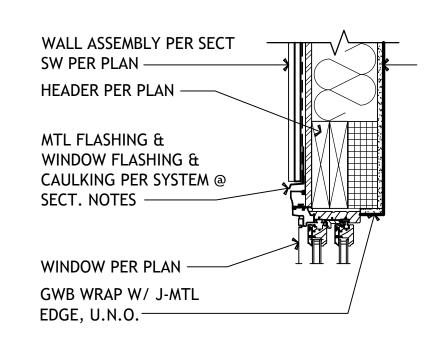
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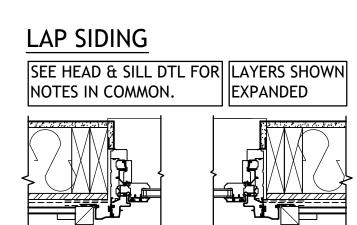
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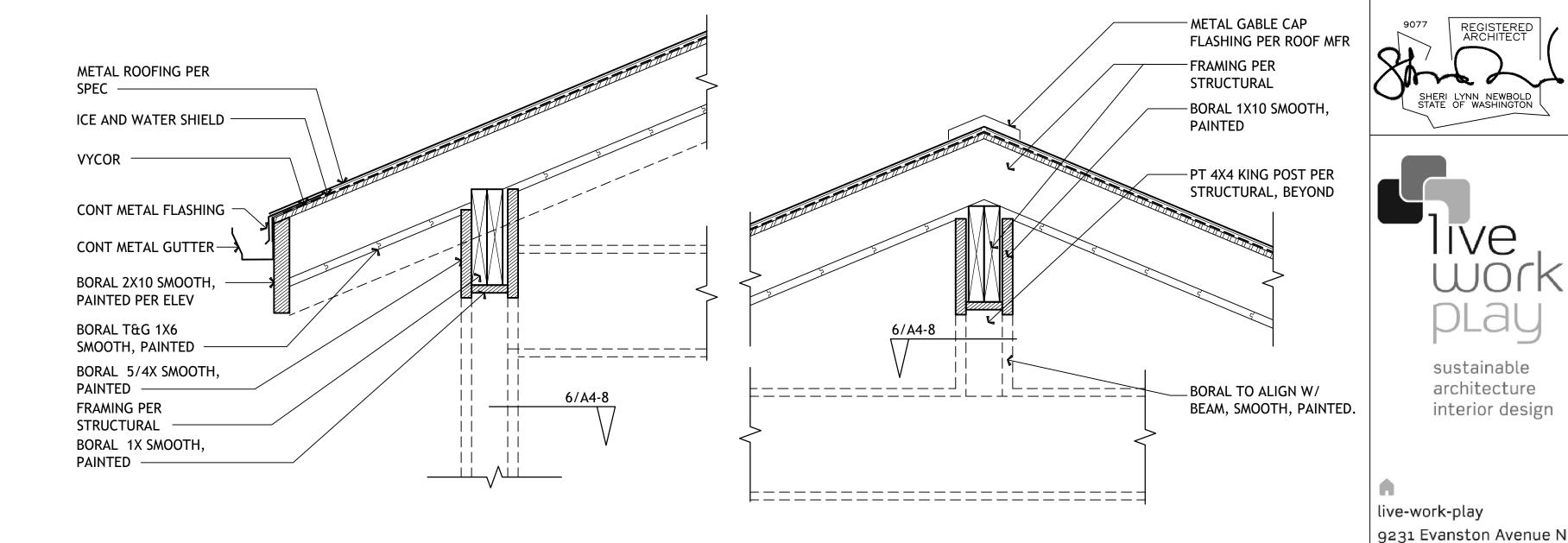
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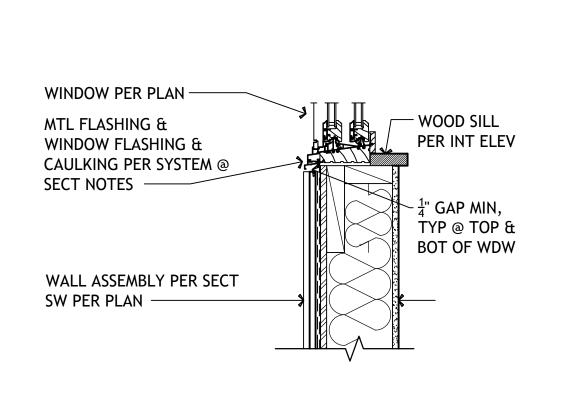


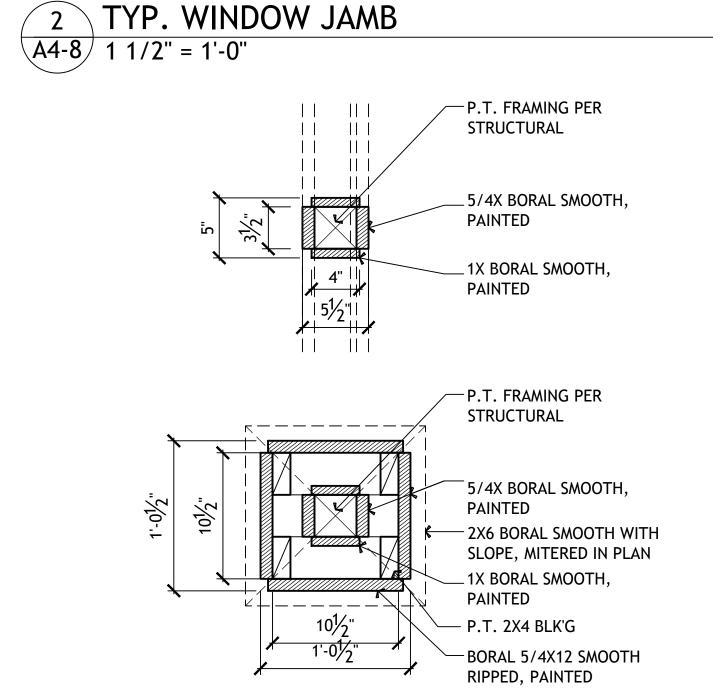




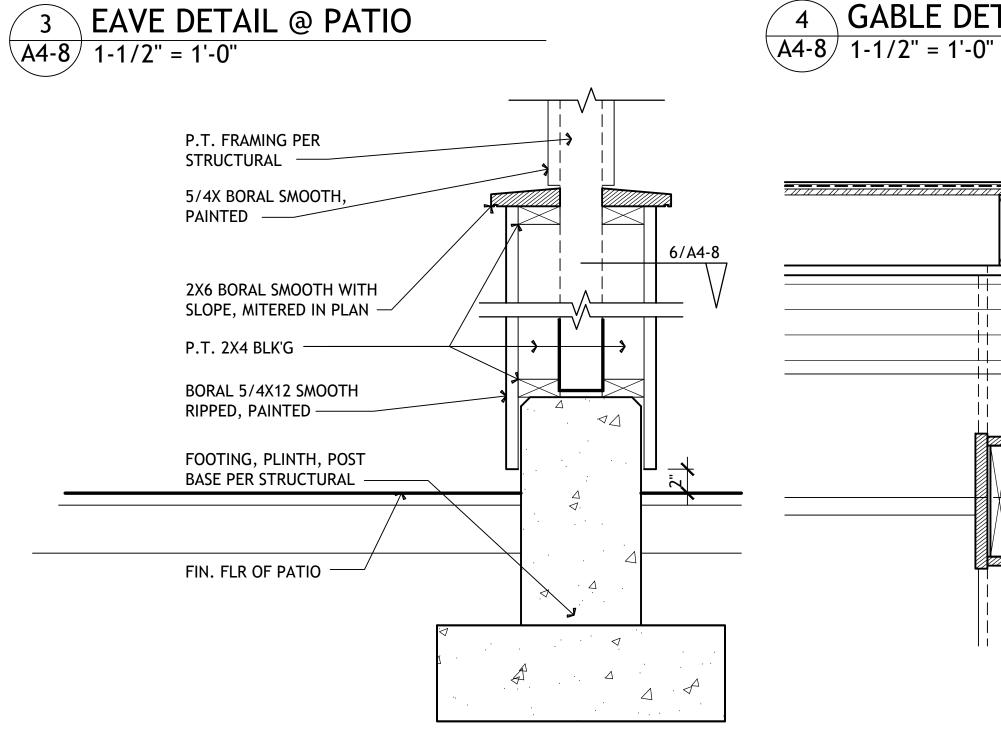


5 TYP. WINDOW SILL A4-8 1 1/2" = 1'-0"

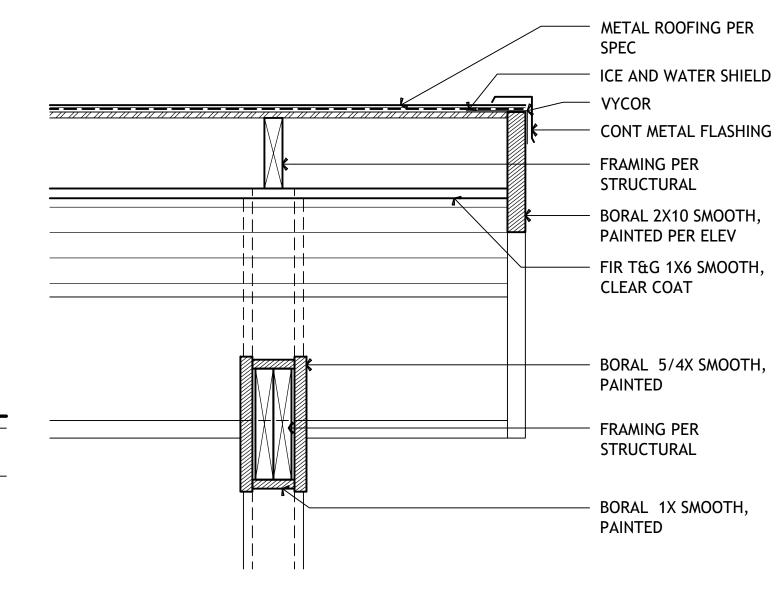












GABLE DETAIL @ PATIO

EAVE DETAIL @ PATIO A4-8 1-1/2" = 1'-0"

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A4-8

A4-8 1-1/2" = 1'-0"

11 -A4-8 1-1/2" = 1'-0"

A4-8 1 1/2" = 1'-0"

10 -A4-8 1 1/2" = 1'-0"

General Structural Notes

The Following Apply Unless Noted Otherwise on the Drawings

Criteria

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE.

DESIGN LOAD CRITERIA

FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF FLOOR LIVE LOAD (RESIDENTIAL DECKS) 60 PSF SNOW Pf=25 PSF WIND

lw=1.0, GCpi=0.18, 110 MPH (ULTIMATE), EXPOSURE "B", KZT=1.00

EARTHQUAKE ANALYSIS PROCEDURE:

EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS BASE SHEAR (ALLOWABLE) V=7.2 KIPS

SITE CRITERIA SITE CLASS=D, Ss=1.407, Sds=0.938, S1=0.54, SD1=0.54, Cs=0.103 SDC D, Ie=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS. CONNECTOR PLATE WOOD ROOF TRUSSES
 - CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8"=1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENTS AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH REINFORCEMENT SHOP DRAWINGS.
- APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.
- 11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

Quality Assurance

- 1. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION IS REQUIRED OF THE FOLLOWING TYPES OF CONSTRUCTION:
 - EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER
- 2. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING CODE.
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING DRAG STRUTS, BRACES AND HOLDOWNS.

Geotechnical

- 1. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN
- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.
- BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

0.3

ALLOWABLE SOIL PRESSURE 2000 PSF 55 PCF/35 PCF LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) COEFICIENT OF FRICTION

(FACTOR OF SAFETY OF 1.5 INCLUDED)

Renovation

- DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS
- 2. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

Concrete

- 1. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES, CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c=3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. (STRUCTURAL DESIGN OF FOUNDATION IS BASED ON A f'c=2,500 PSI, PER IBC 1705.3.2.3, SPECIAL INSPECTION IS NOT REQUIRED.)
- 2. THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO THE CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- 3. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- 4. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40. fv=40.000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000 PSI.
- 5. LONGITUDINAL REINFORCEMENT IN DUCTILE FRAME MEMBERS AND IN WALL BOUNDARY MEMBERS SHALL COMPLY WITH ASTM A706. ASTM A615 GRADES 40 AND 60 REINFORCEMENT ARE ALLOWED IN THESE MEMBERS IF (A) THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI (RETESTS SHALL NOT EXCEED THIS VALUE BY MORE THAN AN ADDITIONAL 3,000 PSI) AND (B) THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL TENSILE YIELD STRENGTH IS NOT LESS THAN 1.25.
- 6. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS
- SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. 7. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSEDTO EARTH

FORMED SURFACES EXPOSED TO EARTH

OR WEATHER (#5 BARS OR SMALLER) SLABS AND WALLS (INT. FACE)

GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

8. CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE: 8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN

9. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

Anchorage

- 1. EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE STRONG-BOLT 2 ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 2. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED.

Wood

FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO.17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

(2X & 3X MEMBERS) JOISTS HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb=850 PSI AND BEAMS: (4X MEMBERS) DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fb=900 PSI BEAMS: (INCL. 6X AND LARGER) DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb=1350 PSI DOUGLAS FIR-LARCH NO. 2 POSTS: (4X MEMBERS) MINIMUM BASE VALUE, Fc=1350 PSI DOUGLAS FIR-LARCH NO. 1 (6X AND LARGER)

STUDS, PLATES & MISC, FRAMING: DOUGLAS-FIR-LARCH OR HEM-FIR NO. 2 2. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND

MINIMUM BASE VALUE, Fc=1000 PSI

AITC STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb=2,400 PSI, Fv=265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb=2400 PSI, Fv=265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 3,000' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD 25 PSF 10 PSF TOP CHORD DEAD LOAD 5 PSF BOTTOM CHORD DEAD LOAD 40 PSF TOTAL LOAD 5 PSF WIND UPLIFT (TOP CHORD) BOTTOM CHORD LIVE LOAD 10 PSF

(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURENTLY WITH THE ROOF LIVE LOAD) WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. THE EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

- 4. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
 - A. ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16. B. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.
 - C. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.
- D. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.
- 5. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 6. PRESSURE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RETENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO A RETENTION OF 0.60 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.
- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2015. EOUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITT" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

- 8. WOOD FASTENERS
- A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:
 - LENGTH DIAMETER 2-1/2" 0.131" 0.148" 10d 0.135" 16d BOX 3-1/2"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

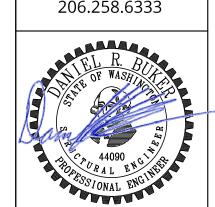
B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

Wood (Con't)

- 14. WOOD FRAMING NOTES--THE FOLLOWING APPLY TO NEW CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE PLANS:
 - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
 - B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.
 - ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH
 - ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER, UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.
 - C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.





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Sheet Contents

General Structural Notes

Sheet No.

Interior Pony Wall at Crawl Space SCALE: 3/4"=1'-0"

> SHEARWALL PER PLAN EDGE NAIL PER SHEARWALL SCHEDULE HOLDOWN POST PER SCHEDULE BELOW HDU HOLDOWN

> > FRAMING CONTINUES

WHERE OCCURS

ANCHOR BOLTS PER SCHEDULE BELOW

Holdown Schedule

Plan	Screws	Anchor	A.B.	Holdowr	Capacity #				
Mark		Bolt ②	Embed	IF 2x4	IF 2x6	#			
HDU2-SDS2.5	(6) SDS ½" x 2½"	SSTB16	12 %"	(2) 2x4	4x6	2215/3075			
HDU4-SDS2.5	(10) SDS ¼" x 2½"	SB ⅓ x 24	18"	4x4	4x6	4565			
HDU5-SDS2.5	(14) SDS ¼" x 2½"	SB ⅓ x 24	18"	4x4	4x6	5645			
HDU8-SDS2.5	(20) SDS ¼" x 2 ½"	SB ⅓ x 24	18"	4x4	4x6	6970			
HDU11-SDS2.5	(30) SDS ½" x 2½"	SB 1 x 30	24"	4x8	6x6	9535			
HDU14-SDS2.5	(36) SDS ¼" x 2 ½"	SB 1⅓ x 30	24"	4x8	6x6	10770			

- 1 MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.
- (2) "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.
- ③ AT (E) FOUNDATION, PROVIDE EPOXY GROUTTED THREADED ROD (DIA. PER MAUNFACTURER) EMBED 12"

PANEL EDGE NAILING -OVER ALL HOLDOWN STUDS HOLDOWN (WHERE OCCURS) PER PLAN w/ A.B. PER P.T. 2x PLATE w/ A.B. HOLDOWN SCHEDULE PER SHEARWALL SCHEDULE SHEARWALL PER PLAN (½" ø @ 48" O.C. ELSEWHERE) (4) 8d INTO EA. BLOCK NAILING PER SHEARWALL SCHEDULE (TYP.) JOIST DIRECTION AND SHEATHING PER PLAN (2) #4 CONT. TOP (1 EA. SIDE OF A.B.) WHERE JOISTS ARE #4 @ 12" O.C. PARALLEL, PROVIDE HORIZ. 2x BLOCKING @ 48" O.C. #4 @ 18" O.C. — VERT. (ALT. BENDS) - LB SERIES TOP FLANGE HANGER ALL FASTENERS INTO PRESSURE (2) #4 CONT. TREATED WOOD SHALL BE GALV. BOTTOM OR STAINLESS STEEL PER GENERAL NOTES

Exterior Framing at Crawlspace (High Grade)

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE FOR F'c = 2500 psi, GRADE 60 REINFORCING

MINIMUM STRAIGHT DEVELOPMENT LENGTH (&d)

BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

	MINIMUM LAP SPLICE LENGTHS (&s)						
_	BAR SIZE	TOP BARS	OTHER BARS				
	#3	31"	23"				
_	#4	41"	31"				
_	#5	51"	40"				
_	#6	62"	47"				
_	#7	89"	68"				
_	#8	102"	78"				
_	#9	114"	88"				
_	#10	130"	99"				
	#11	143"	110"				

#11 | 143" | 110" TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

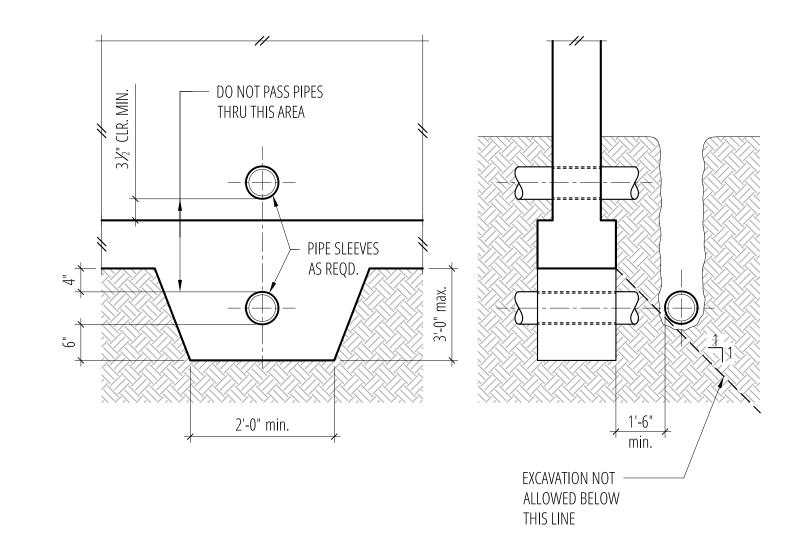
IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMTERS, THEN LENGTHS SHALL BE INCREASED BY 50%

MINIMUM EMBEDMENT LENGTHS (Pdh) FOR STANDARD END HOOKS

	FOR STANDARD END HOOKS
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

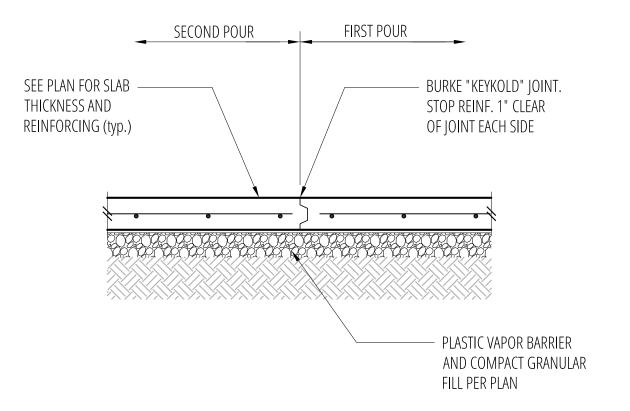
- 1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ "
- 2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

EMBED DOWELS 3½" MIN. EPOXY DOWEL REINF. #5 x 24 @ 12" O.C. (E) MUDSILL -(E) FOUNDATION WALL — 2x P.T. MUDSILL WALL AND FOOTING REINFORCING PER (E) FOOTING DETAIL X/SX.X



Epoxy Dowel Connection at (E) Foundation

Pipe and Trench Locations



CONTROL JOINT

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

⅓" x 1½" PRE-MOLDED

(joint may be saw cut at

PLASTIC VAPOR BARRIER

FILL PER PLAN

AND COMPACT GRANULAR

contractors option)

CONT. MASTIC JOINT STRIP.

CONSTRUCTION JOINT

Typical Slab Joints

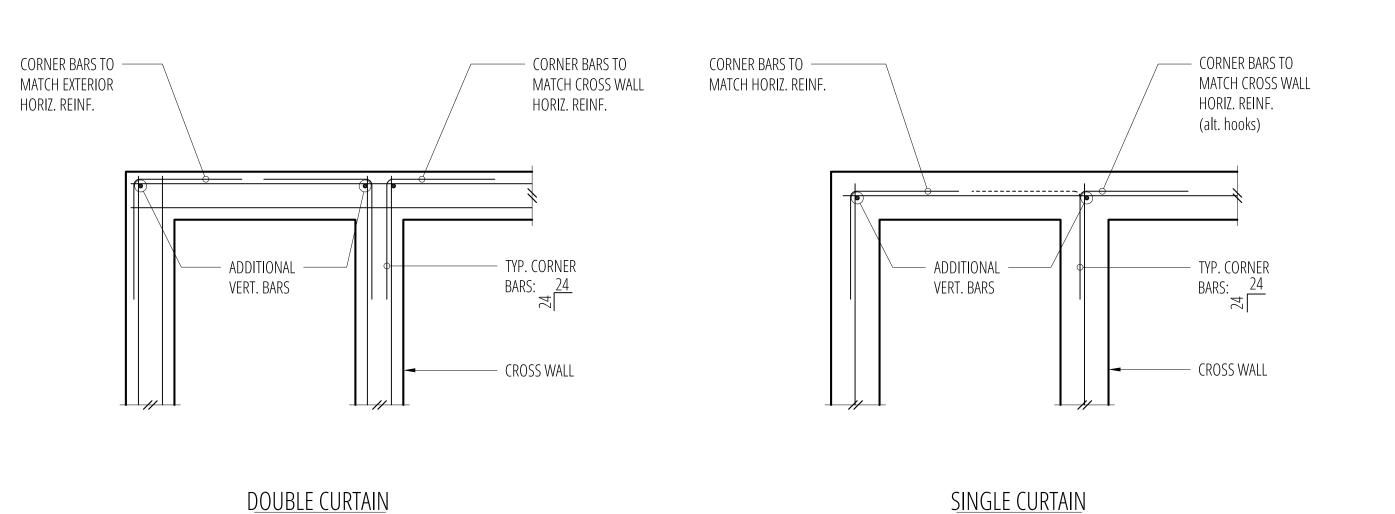
SEE PLAN FOR SLAB

REINFORCING (typ.)

CUT ALTERNATE

WIRES AT JOINT

THICKNESS AND



Typical Corner Bars at Concrete Walls and Footings

HDU Holdown Schedule

Sheet Contents CONCRETE DETAILS

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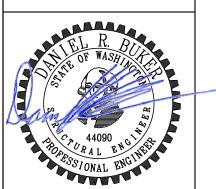
Whitney

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Sheet No.

Lap Splice and Development Schedule

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CONCRETE DETAILS

53.2

PLAN VIEW AT ABUTTING PANEL EDGES OF W3 & W2

PLYWOOD EDGE

SHEARW	/ALL SCHEDULE d	23567		
MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CO](
W6	15/32" CDX PLYWOOD	8d @ 6"OC	16d @ 6" OC	

ONNECTION BASE PLATE CONNECTION IF 2x OR LSL AT WOOD AT CONCRETE ⅓" ø A.B. @ 48" OC A35 @ 24" OC 16d @ 6" OC %" ø A.B. @ 32" OC W4 8d @ 4" OC 16d @ 4" OC A35 @ 16" OC 16d @ 4" OC ¹5/₃₂" CDX PLYWOOD ⅓" ø A.B. @ 16" OC (2) ROWS 16d @ 6" OC A35 @ 12" OC 16d @ 3" OC 🛈 ¹⁵/₃₂" CDX PLYWOOD 8d @ 3"OC (2) ROWS 16d @ 4½" OC □ | ¾" ø A.B. @ 12" OC A35 @ 9" OC (2) ROWS 16d @ 4½" OC ¹⁵/₃₂" CDX PLYWOOD 8d @ 2"OC

- 1. BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12' o.c.
- 2. 8d NAILS SHALL BE 0.131" \(\overline{\text{\overline}} \) 2½" (common) 16d NAILS SHALL BE 0.135" \(\text{\overline}} \) x 3½" (box)
- 3. EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" PLATE WASHERS. EXTEND TO WITHIN 1/2" OF THE PLYWOOD SHEATHING.
- 4. 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- 5. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- 6. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7. χ_{6} " O.S.B. MAY BE SUBSITUTED FOR 15 /₃₂" CDX.
- 8. LTP4's MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- 9. A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- 10. STAGGER NAILS IN ROW W/½" MIN. OFFSET.
- 11. MINIMUM OFFSET BETWEEN ROWS $\frac{1}{2}$, AND MINIMUM RIM OR JOIST 3 $\frac{1}{2}$ " WIDE.

<u>DETAIL A</u> EDGE NAILING -OVER EA. STUD BEAM PER PLAN - LUS SERIES HANGER 16d NAILING PER SCHEDULE

(E) JOIST & SHEATHING

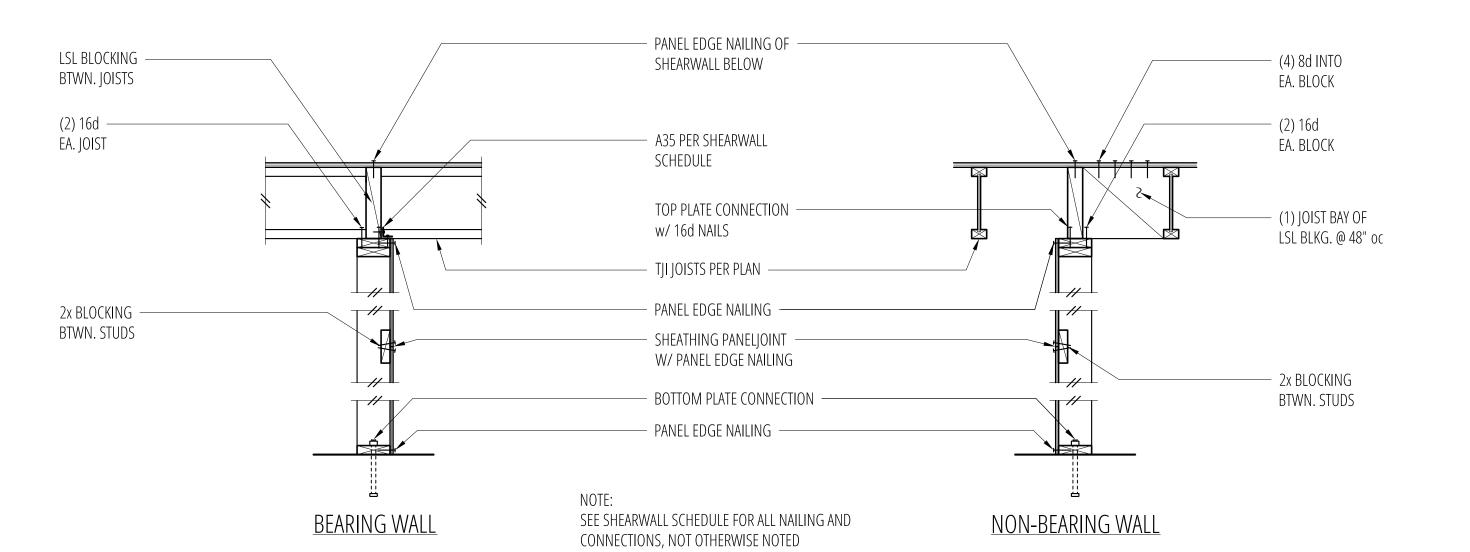
SCALE: 3/4"=1'-0"

Typical Flush Beam/Header

JOISTS AND SHEATHING

PER PLAN

Shearwall Schedule SCALE: 3/4"=1'-0"



— 16d @ 12"O.C. STAGGERED (8) 16d @ 4" O.C. STAGGERED AT EACH SIDE OF SPLICE ELSEWHERE TOP CHORD SPLICE BOTTOM CHORD SPLICE 6'-0" MIN. BETWEEN SPLICES - SPLICE TO OCCUR AT & OF VERT. STUD TYP.

TYP. DOUBLE TOP PLATE A35 (at exterior walls only) OMIT @ HEADERS < 6"-0" TYP. STUDS -BEAM OR HEADER PER PLAN WHERE OPENING IS LESS THAN 6'-0" PROVIDE (1) BEARING STUD U.N.O.

5 Typical Top Plate Splice
SCALE: 3/4"=1'-0"

Typical Header Support

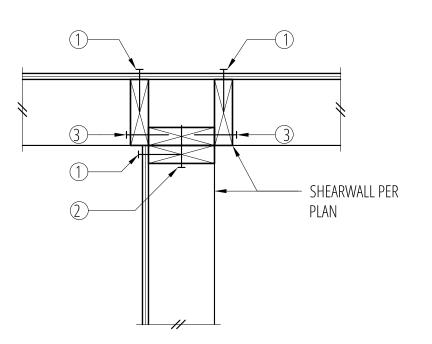
SCALE: 3/4"=1'-0"

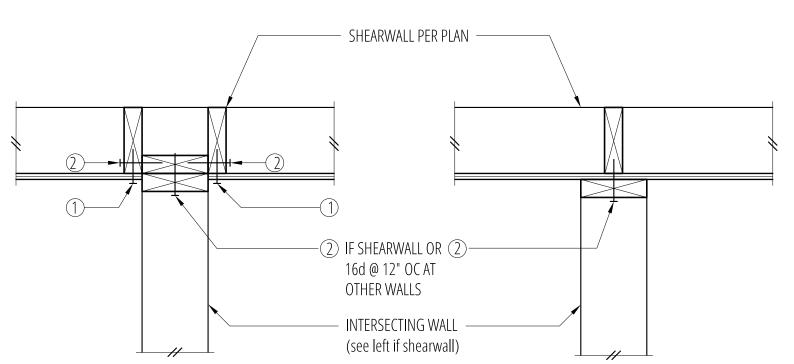
EDGE NAILING 2x4 FLAT BLOCKING AT -PER PLAN UNFRAMED PANEL EDGES WHERE BLOCKED DIAPHRAGM FIELD NAILING IS SPECIFIED ON PLAN PER PLAN FRAMING PER PLAN PROVIDE EDGE NAILING AT ALL HIPS, VALLEYS, RIDGE AND SHEARWALLS STAGGER PLYWOOD AS SHOWN

PLAN VIEW

9 Typical Diaphragm Sheathing and Nailing SCALE: 3/4"=1'-0"

Typical Shearwall Construction





1. PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE

(2) BASE PLATE NAILING PER SHEARWALL SCHEDULE

③. 16d @ 8" OC

Typical Shearwall Intersection

SCALE: 3/4"=1'-0"

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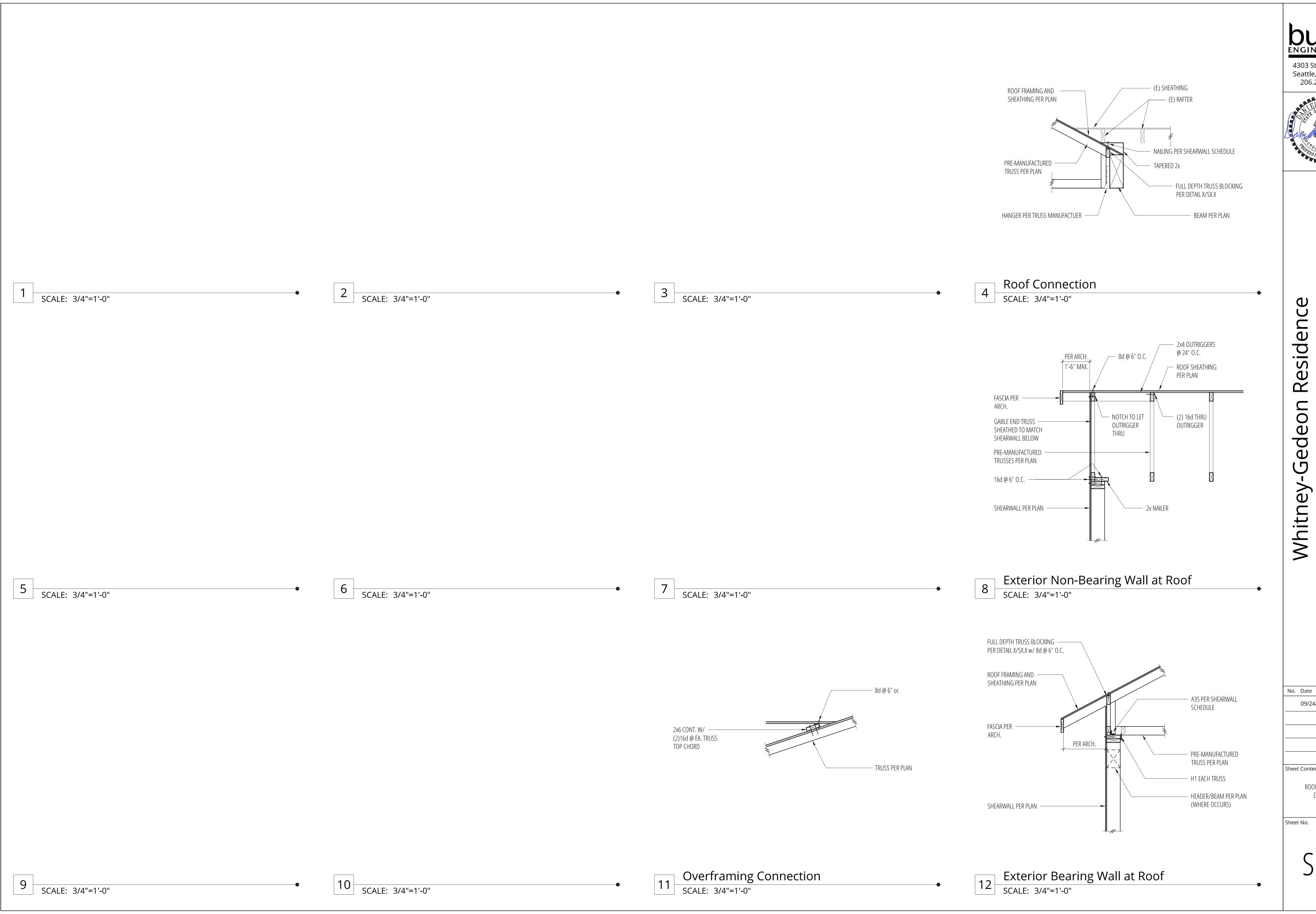
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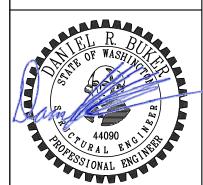
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FLOOR FRAMING DETAILS

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Sheet Contents

ROOF FRAMING DETAILS

\$5.1