

ABBREVIATIONS

Table of abbreviations including ADJ (Adjustable), AFF (Above Finished Floor), ARCH (Architect), etc.

GENERAL NOTES

1. All work shall comply with all applicable codes and ordinances. (2015 IBC---structural, 2015 IRC--ordinance, current Energy Code)

2. All mechanical, electrical and plumbing work shall be completed under separate permit, and in compliance with all applicable codes and ordinances. 2b. Contractor is responsible for obtaining all inspections/closing out/ finaling all permits related to the work. Architect is not responsible for finaling permits.

3. Contractor shall provide all items, materials, articles, operations and/ or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work.

4. The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any Contractor's failure to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of any Contractors, Sub-Contractors, or any of their agents or employees, or any other persons performing any of the work.

5. The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as required.

6. Contractor shall provide all shoring, bracing, and barricading necessary to ensure the structural stability of the building and the safety of all who enter the building during construction.

7. The Contractor is to verify all existing conditions and dimensions, and notify the Architect of any discrepancies or uncertainty.

8. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions.

9. Dimensions are to face of concrete or to face of stud unless notified otherwise.

10. No change in scope or intent of the work shall be made without the approval of the Architect.

11. ALTERNATIVES AND SUBSTITUTIONS TO DRAWINGS AND SPECIFICATIONS MAY BE ACCEPTABLE, BUT MUST BE APPROVED IN WRITING BY THE OWNER. ANY ITEM SUBSTITUTED WITHOUT WRITTEN APPROVAL MAY BE SUBJECT TO REMOVAL AT NO COST TO THE OWNERS OR ARCHITECT.

12. Floors and walls are to be finished under and behind casework and equipment unless noted otherwise.

13. Shop drawings and/ or material samples shall be prepared by the Contractor and submitted to the Architect for review on the following items. Allow (5) days for Architect's review. Every effort will be made to turn submittals around as quickly as possible. In the event that Architect is not involved in construction observation, all submittals are to be made to Owner for approval.

- All finish materials. Window Orders. Trim and molding samples. Door Orders

14. All paint and finish samples are to match Architect's control samples, and must be approved by Architect. No substitutions for paint manufacturers or grades allowed without written approval of the Architect. ROLL OUT A 4' X 4' SECTION OF EACH WALL PAINT COLOR IN ITS SPACE AND PAINT A 6' LENGTH OF ALL TRIM PIECES FOR OWNER APPROVAL PRIOR TO PURCHASE OF FULL PAINT ORDER. DO NOT PROCEED WITH PAINTING UNTIL THESE ROLL-OUTS ARE APPROVED.

15. The Contractor is to verify locations of wall-mounted accessories, cabinetry, shelving, and backing for future accessories with the Owners and provide solid blocking at those locations prior to closing the walls.

16. The Contractor shall coordinate with the Owners to photograph the walls and ceilings of the kitchen, bathrooms, utility rooms, and any other rooms after plumbing, electrical and mechanical rough-in and before GWB is applied.

17. The Contractor shall be responsible for the testing of all materials suspected of containing asbestos. The cost for the testing and the removal of such material shall be an additional expense to the Owners. The Contractor shall obtain a minimum of (3) bids for the removal and disposal of the material.

18a. The Owners shall provide the Contractor with a list of items to be salvaged from demolition. All items shown as relocated or salvaged shall be carefully removed, stored, and protected during construction.

18b. Contractor shall provide salvage service for items that are not to be saved by the Owners using a salvage specialist, such as Second Use, Ballard Reuse, etc. The salvageable types of items are but are not limited to anything non-structural such as windows, doors, wood flooring, wood trim, appliances five years and newer, plumbing fixtures.

19. The Contractor is to provide the necessary containers for trash removal and keep the work area reasonably clean at all times. The location of any dumpster used in the work shall be coordinated with the Owners. The surface under any dumpster used in the work shall be protected at all times. The area near any dumpster used in the work shall be kept free of nails and other debris. All areas surrounding any dumpster shall be protected during dumpster removal/ drop-off. Care shall be taken to keep the street free of vehicle blockages.

20. During demolition and construction, protect all new work and existing to remain surfaces and building components. Damage or disturbance to the existing building or to neighboring property shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.

21. Provide temporary plywood enclosures after the removal of exterior walls and windows to adequately secure and protect the building. Cover openings in the roof and walls to secure against wind and rain. Keep all debris from blocking downspouts or tight lines. Maintain all debris in an orderly fashion to prevent scattering in the yard or neighbor's yard or neighborhood. Damage to the new or existing work due to water shall be promptly repaired at no cost at the Owners. All floor finishes that remain shall be protected at all times.

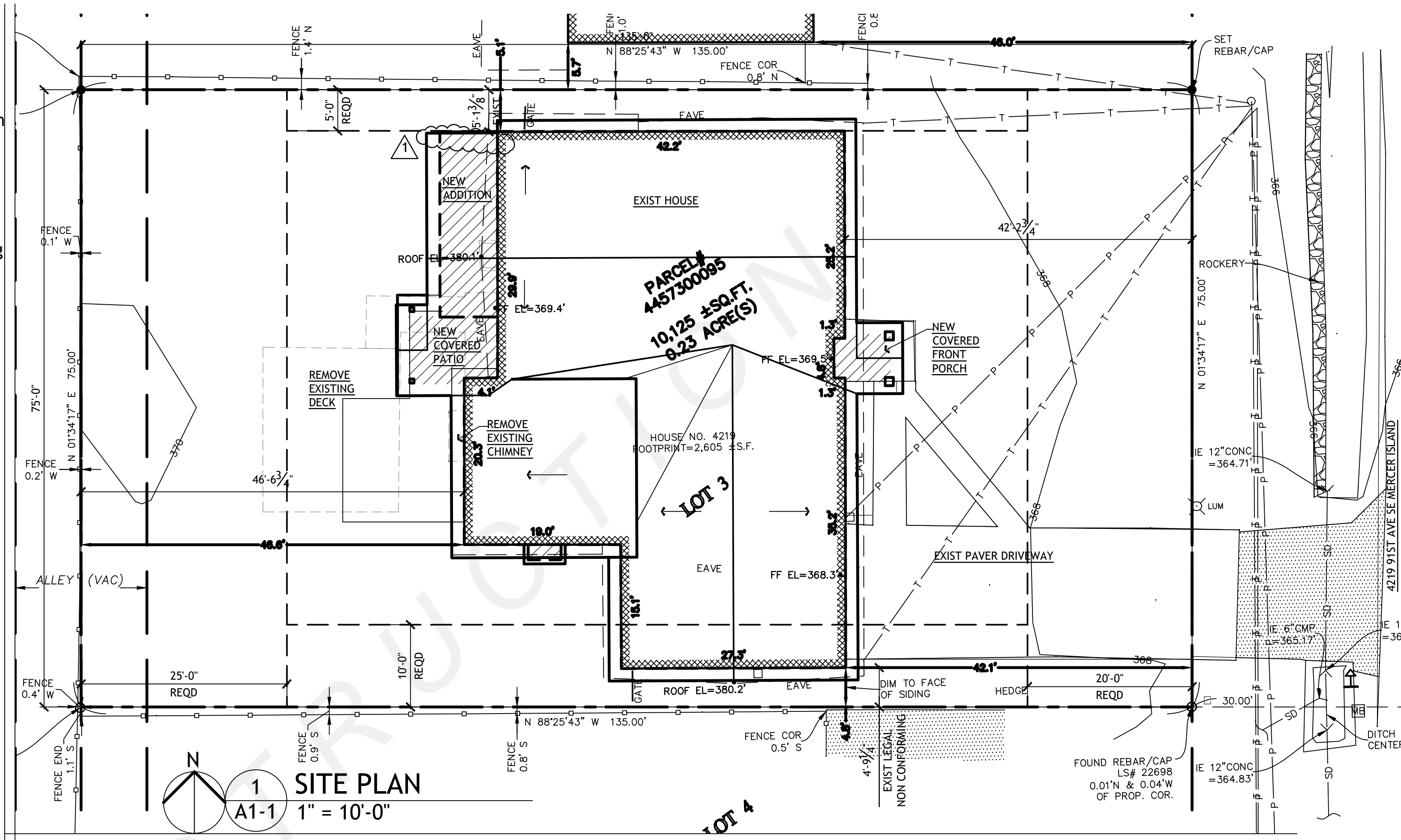
22. The Contractor shall consult with the Owners regarding the protection of specific plants on site prior to commencement of the work, and shall take reasonable precaution in the protection of these materials throughout the course of the work. All plantings in sloped areas shall be protected at all times.

23. Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before punch list.

24. Upon completion of the work, the Contractor is responsible for thorough cleaning and touch-up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction. A punch list will be generated by the Owners and Contractor at the completion of the work for these marked/damaged surfaces, and any incomplete items.

25. Upon acceptance of the work, the Contractor will submit to the Owners the following items: Product and equipment guarantees, Warranties, Operating and maintenance manuals as needed, A list of sub-contractors involved in the work, with their addresses and phone numbers.

26. Green Building: Use Low-VOC paint AND ADHESIVES, Deconstruct and recycle areas to be removed. Maintain on-site job site recycling area. Source materials locally where possible. Formaldehyde-free materials to be used. Where formaldehyde-free materials not possible, use Urea formaldehyde-free materials. Minimize PVC use where possible. Air seal at all new construction and opened exist Building PER CODE (http://oikos.com/library/airsealing/index.html)



PROJECT INFORMATION, LAND USE INFORMATION, GROSS FLOOR AREA (GFA) MEASURED TO EXTERIOR: 40% OF LOT AREA, and other project data.

ENERGY INFORMATION, DRAWING INDEX, and other technical details.

PERMIT cover sheet & general notes whitney-gedeon residence 4219 91st avenue SE mercer island, wa 98040

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION
 (PER SPECIAL WARRANTY DEED RECORDING# 20010319000457)
 LOT 3, BLOCK 2, LUCAS HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 5, IN KING COUNTY, WASHINGTON.
 SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS
 PER RECORD OF SURVEY BOOK 199, PG 117, A LINE BETWEEN MONUMENTS FOUND AND SHOWN HEREON BEARS N15°15'49"E.

REFERENCES
 R1. RECORD OF SURVEY, VOL. 199, PG. 117, RECORDS OF KING COUNTY, WASHINGTON.
 R1. UNRECORDED SURVEYS BY JONES BASSI AND ASSOCIATES JOB NO. 1511 DATED 1/26/63, 1326 DATED 4/1/60, 1473 DATED 8/21/62

VERTICAL DATUM
 NAVD88 PER GPS OBSERVATIONS

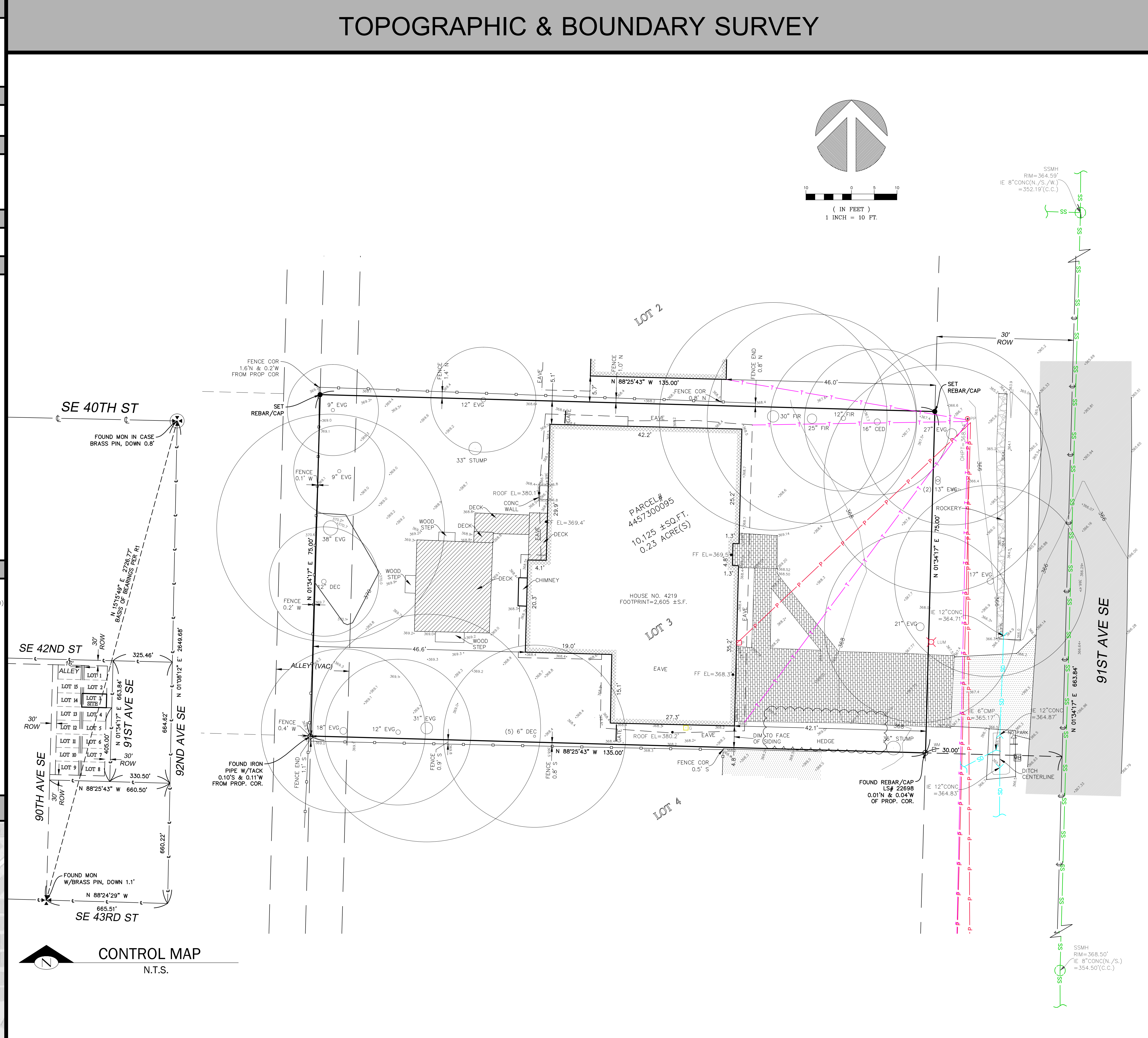
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 445730-0095
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,125 ± S.F. (0.23 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

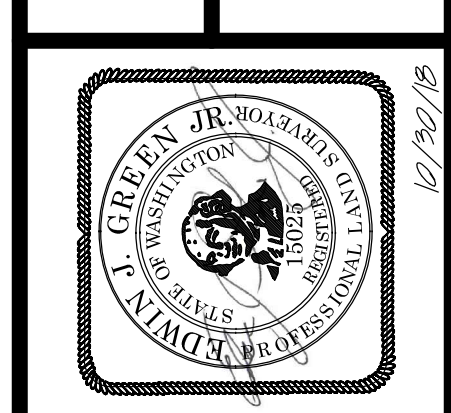
	ASPHALT SURFACE		MAILBOX (RESIDENTIAL)
	BRICK SURFACE		MONUMENT (SURFACE, FOUND)
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (OVERHEAD)
	CULVERT PIPE		POWER POLE
	RETAINING WALL		REBAR & CAP (SET)
	DECK		ROCKERY
	DITCH (FLOWLINE)		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		SIGN (AS NOTED)
	GAS METER		STORM DRAIN LINE
	GRAVEL SURFACE		TELEPHONE (OVERHEAD)
	HEDGE FOLIAGE LINE		TREE (AS NOTED)
	OHP TRANSMISSION ELEVATION		WATER METER
	MONUMENT IN CASE (FOUND)		LUMINAIRE
	REBAR/IRON PIPE AS NOTED (FOUND)		

VICINITY MAP
 N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY
 SE 1/4 OF NW 1/4 SEC 18, TWP. 24 N., RGE 05 E., W.M.
 PARCEL NO. 4457300095

WHITNEY / GEDEON RESIDENCE
 4219 91ST AVE SE
 MERCER ISLAND, WA 98040



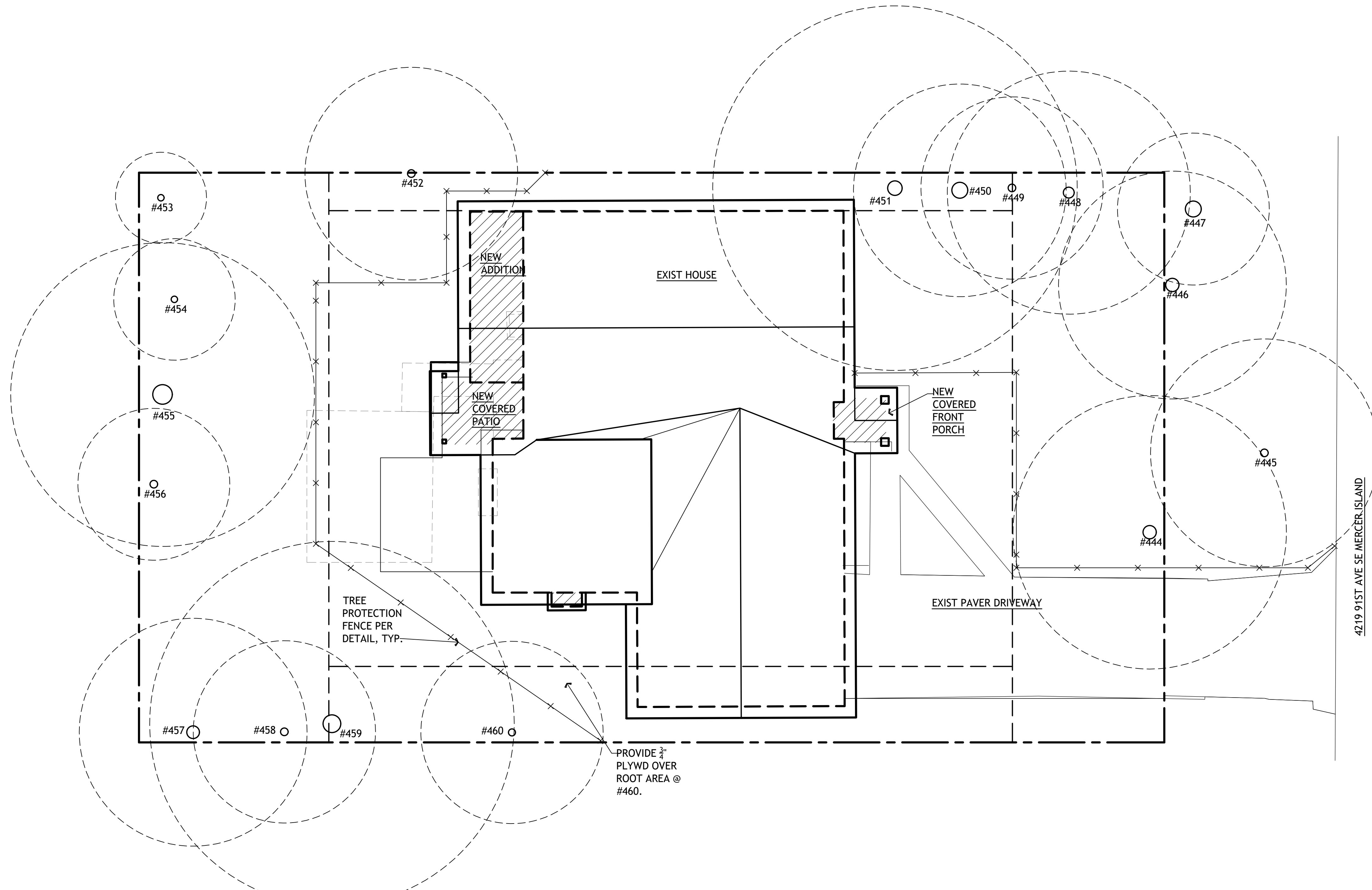
Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4498 support@terrane.net
 www.terrane.net

JOB NUMBER: 181757
DATE: 10/12/18
DRAFTED BY: IDV-PSC
CHECKED BY: EJG/TMM
SCALE: 1" = 10'

REVISION HISTORY

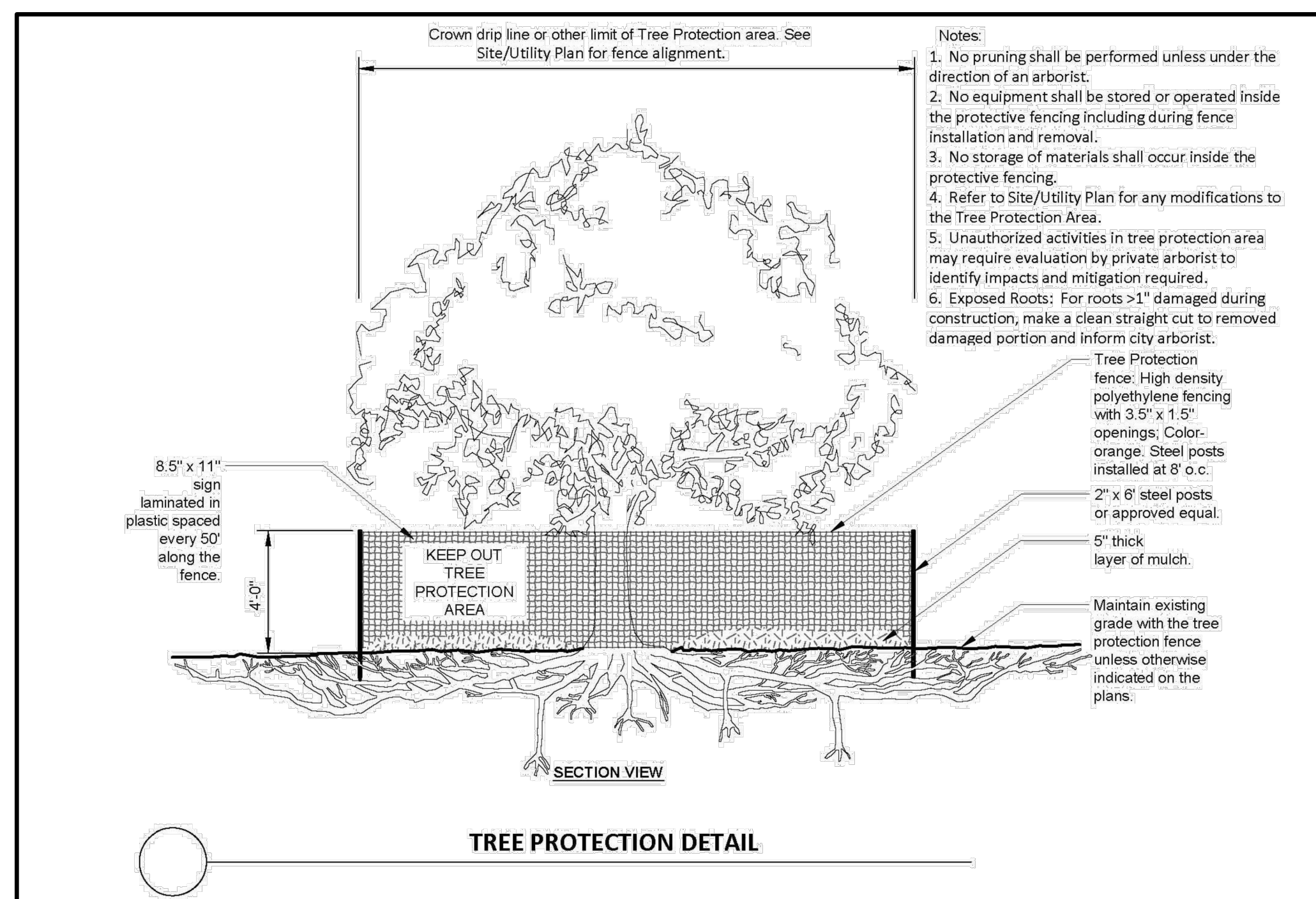
10/30/28	EAVE REVISION
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SHEET NUMBER
 1 OF 1



1
A1-2
TREE PROTECTION PLAN
1/8"=1'-0"

TREE SCHEDULE



Tree #	Species	DBH"	DrpIn	Radius'	Condition	Comments	Status
444	Douglas Fir	21	18'		Excellent	Off of driveway. Crown-cleaned	retain
445	Douglas Fir	12	15'		Poor	topped for utility clearance. Located Off-Site	retain
446	Douglas Fir	21	15'		Good	Two stems at the root collar. Sq root of {(stem)+(stem2)}	retain
447	douglas Fir	25		Under canopy	Poor	Out-competed	retain
448	Vestern Red Ceda	17	16'		Excellent	Excellent condition.	retain
449	Douglas Fir	12	12'		Good	Near property line, do not limb any higher	retain
450	Douglas Fir	25	14'		Good	Near property line, do not limb any higher	retain
451	Douglas Fir	23	24'		Good	Near property line, do not limb any higher	retain
452	Douglas Fir	12	14'		Fair	Crooked trunk, near building corner	retain
453	Douglas Fir	10	6'		Fair	large bark damage at base of tree. Tree has low vigor.	retain
454	Douglas Fir	10	8'		Fair	Crooked trunk.	retain
455	Douglas Fir	31	20'		Good	Wind broken tops several yrs ago. Bushy top now.	exceptional
456	Flowering Plum	12	10'		Fair	Typically full of suckers, minor old stom damage. Leaning toward light.	retain
457	Vestern Red Ceda	20	15'		Excellent	Excellent condition.	retain
458	Douglas Fir	12	12'		Fair	In canopy of tree #459.	retain
459	Douglas Fir	28	24'		Excellent	History of 'wind-sailing' and crown cleaning.	retain
460	Fruiting Fig	11	12		Good	Old large pruning cuts, typical of species.	retain

CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES

- A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.
- SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT
- THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHALL BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (ESCL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
- BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
- THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPs ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
- GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDG IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDG PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT.
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

CONSTRUCTION STORMWATER CONTROL (CSC) PLAN REQUIREMENTS / NARRATIVE

- THIS PLAN IS REQUIRED FOR ALL PROJECTS WITH GREATER THAN 750 SQUARE FEET OF LAND DISTURBING ACTIVITIES.
- SHOW TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES (BMPs) IN THE PLAN VIEW OF THIS SHEET THAT WILL ACCOMPLISH THE MINIMUM REQUIREMENTS DESCRIBED IN THE NARRATIVE BELOW.
- THE BMPs SHOWN IN THE PLAN VIEW OF THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL BMPs ARE REQUIRED WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.
- MARK CLEARING LIMITS
 - DELINEATE ENVIRONMENTALLY CRITICAL AREAS
 - RETAIN TOP LAYER AND NATIVE VEGETATION
 - ESTABLISH CONSTRUCTION ACCESS
 - PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS
 - PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE
 - STABILIZE SOILS
 - PROTECT SLOPES
 - PROTECT STORM DRAINS
 - STABILIZE CHANNEL AND OUTLETS
 - CONTROL POLLUTANTS
 - CONTROL DEWATERING
 - MAINTAIN AND INSPECT BMPs
 - EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN
 - MINIMIZE OPEN TRENCHES
 - PHASE THE PROJECT
 - INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES
 - PROTECT STORMWATER BMPs PRIOR TO, DURING, AND AFTER CONSTRUCTION

POST CONSTRUCTION SOIL MANAGEMENT PLAN

- AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBE TO 12-INCHES AT THE SITE FINAL INSPECTION.
- Label ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE WITHIN THE SITE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) or ND (NON-DISTURBED AREA). SEE DEFINITIONS BELOW. DO NOT REFERENCE AN ALTERNATE PLAN SHEET.
 - AN ESTIMATE OF THE VOLUME OF COMPOST REQUIRED IS AUTOMATICALLY CALCULATED ON THE SITE AND DRAINAGE CONTROL SUMMARY SHEET REQUIRED ON THE DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN). THE ACTUAL VOLUME OF COMPOST REQUIRED WILL BE DETERMINED IN THE FIELD.

DEFINITIONS:

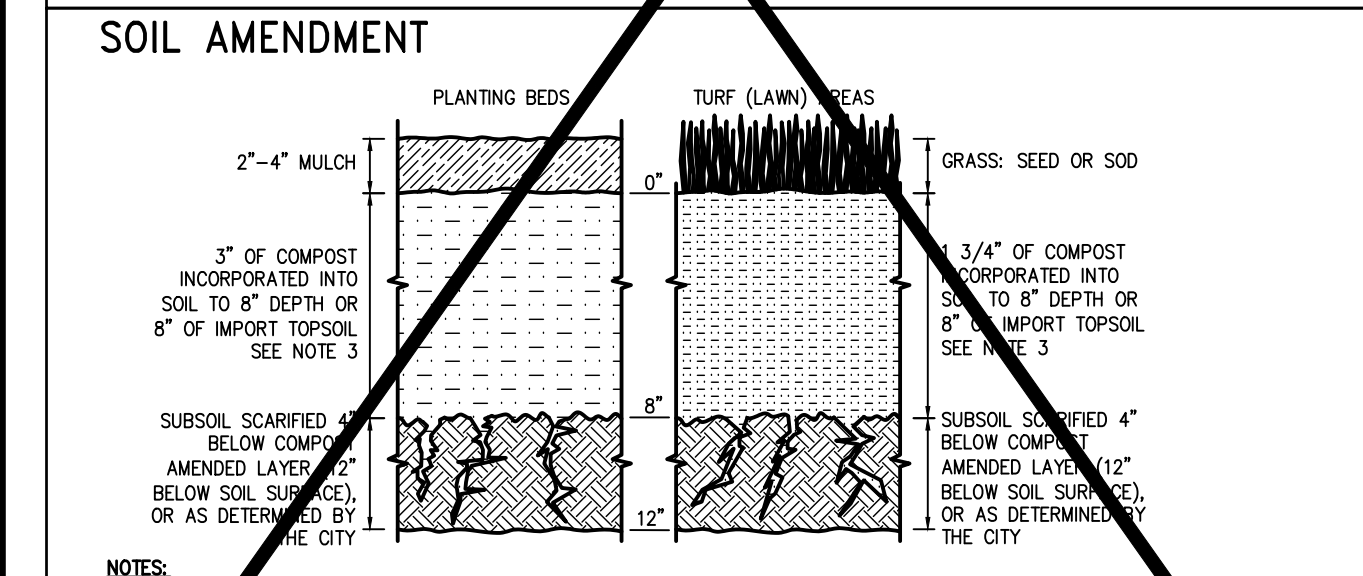
- NON-DISTURBED AREA (ND):** VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY (SEE D) DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE DPD SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- SOIL AMENDMENT AREA (SA):** VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENEED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.

ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

ONLY COMPLETE THE FOLLOWING CALCULATION IF A DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN) IS NOT REQUIRED (E.G. SUBJECT TO FIELD INSPECTION (SDG) DEMOLITION PERMITS)

(SQUARE FEET) X 0.002 = (CUBIC YARDS)

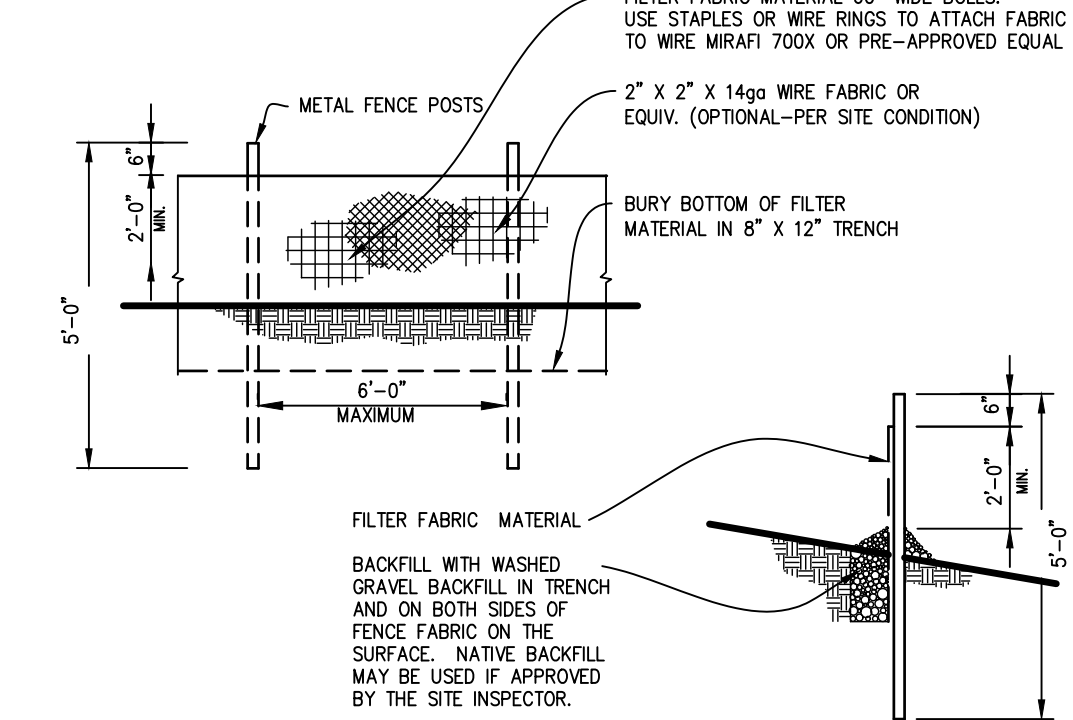
AREA REQUIRING AMENDMENT (SA) = REQUIRED COMPOST



- NOTES:**
- POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
 - SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.
 - IMPORT TOPSOIL

SYMBOL: (SA) AREA REQUIRING SOIL AMENDMENT (ND) NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)

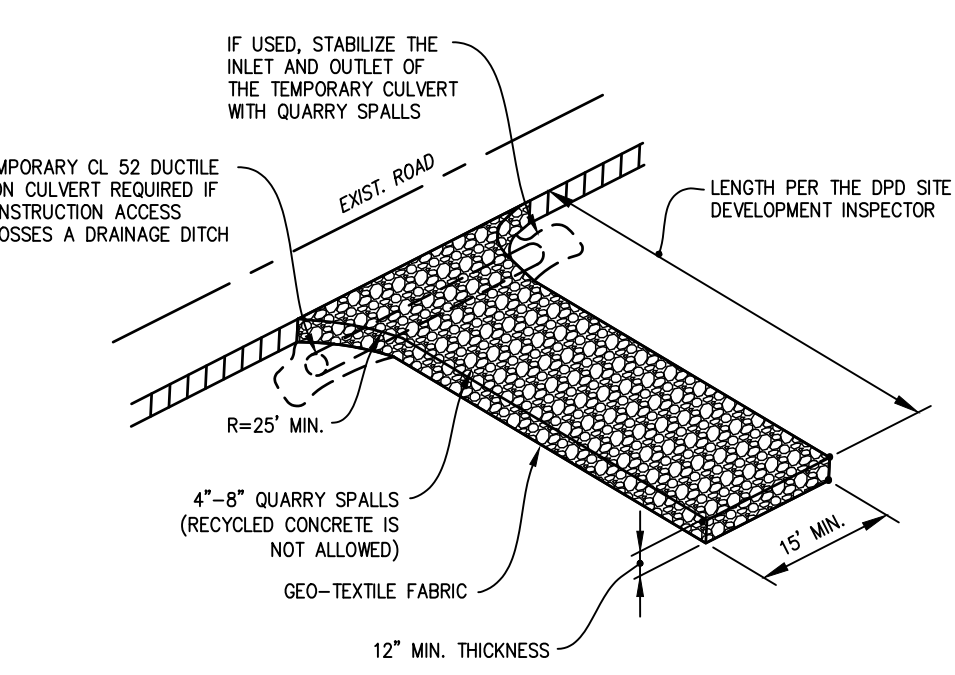
FILTER FENCE



NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF RUN.

SYMBOL: (FF)

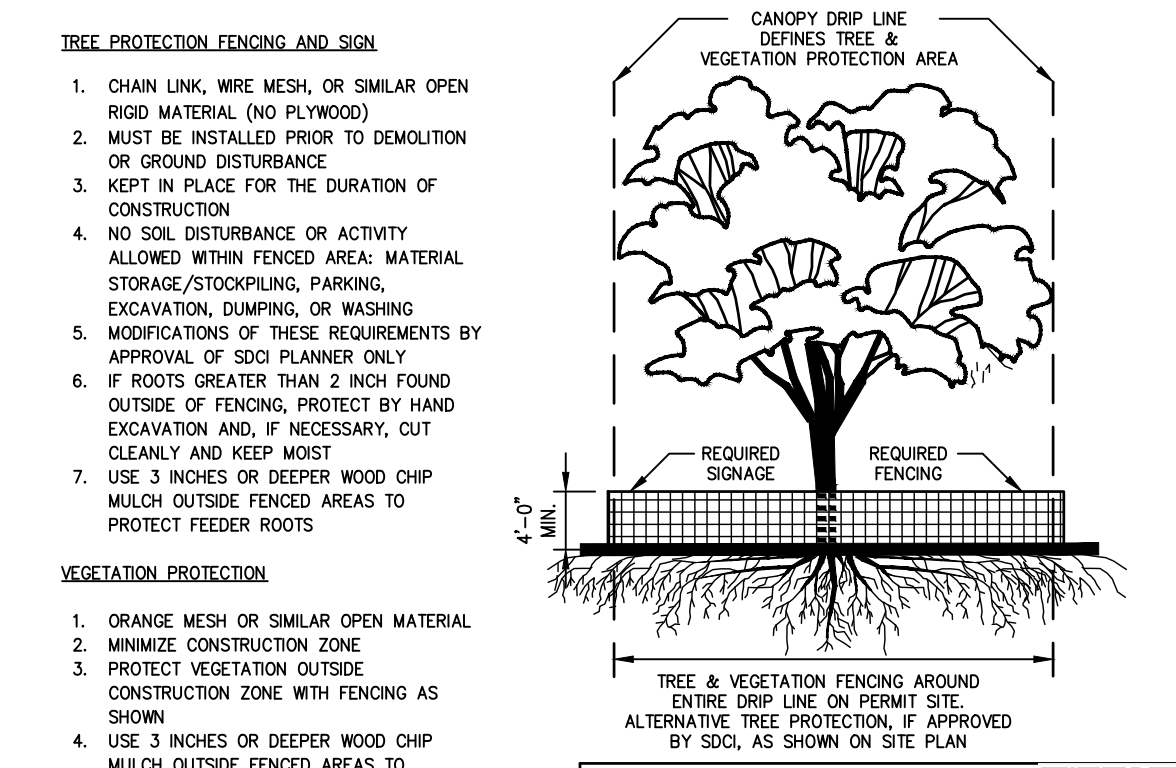
STABILIZED CONSTRUCTION ACCESS



STABILIZED ACCESS SHALL BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS. RECYCLED CONCRETE IS NOT ALLOWED.

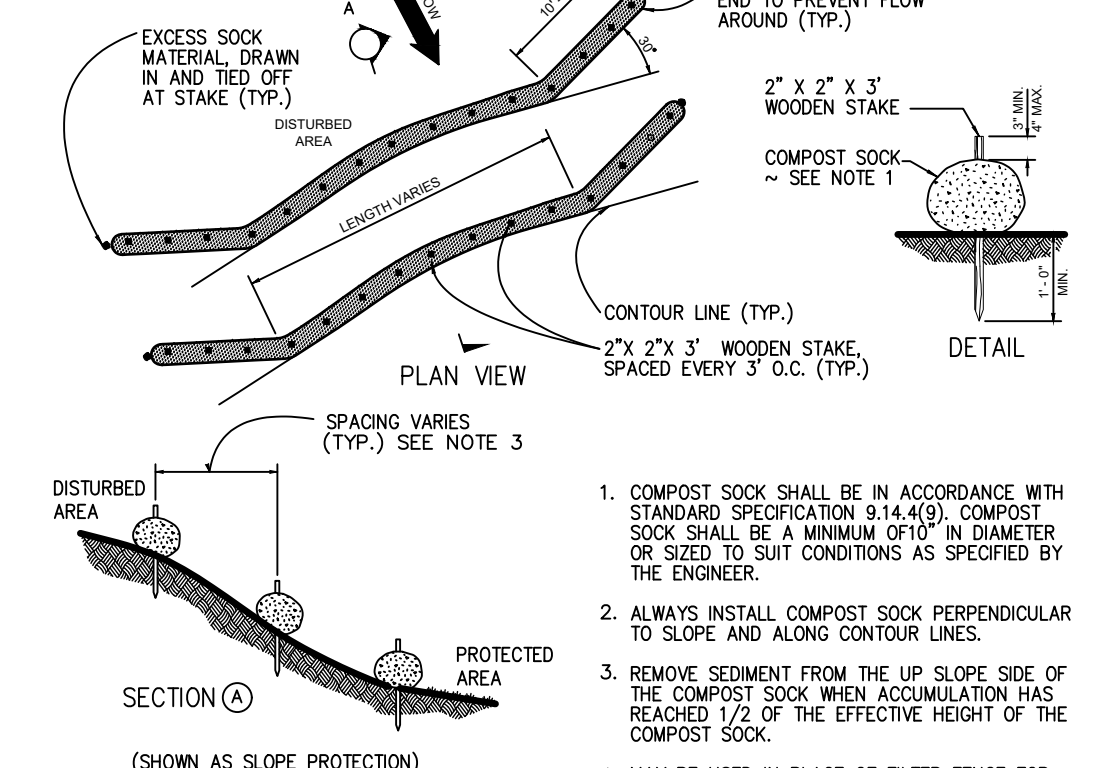
SYMBOL: (CA)

TREE & VEGETATION PROTECTION



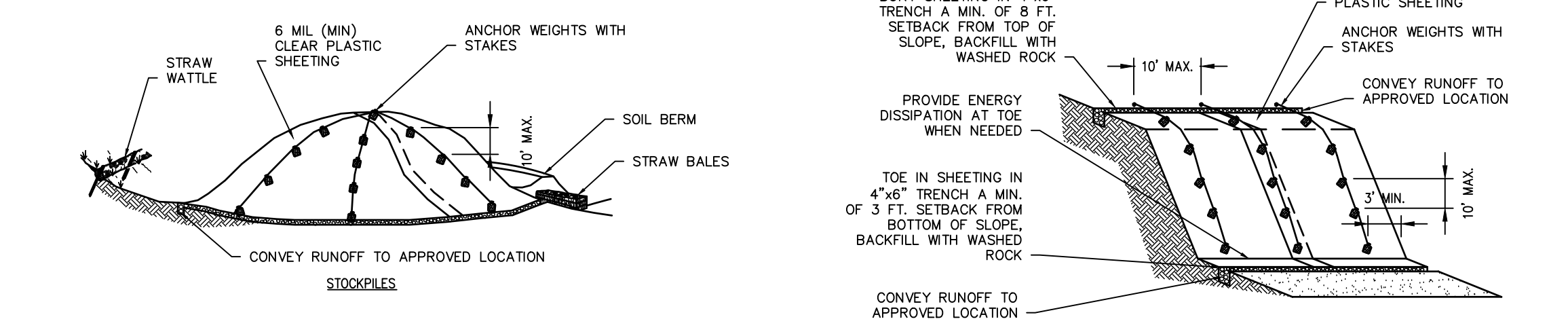
SYMBOL: (VEG)

COMPOST SOCK

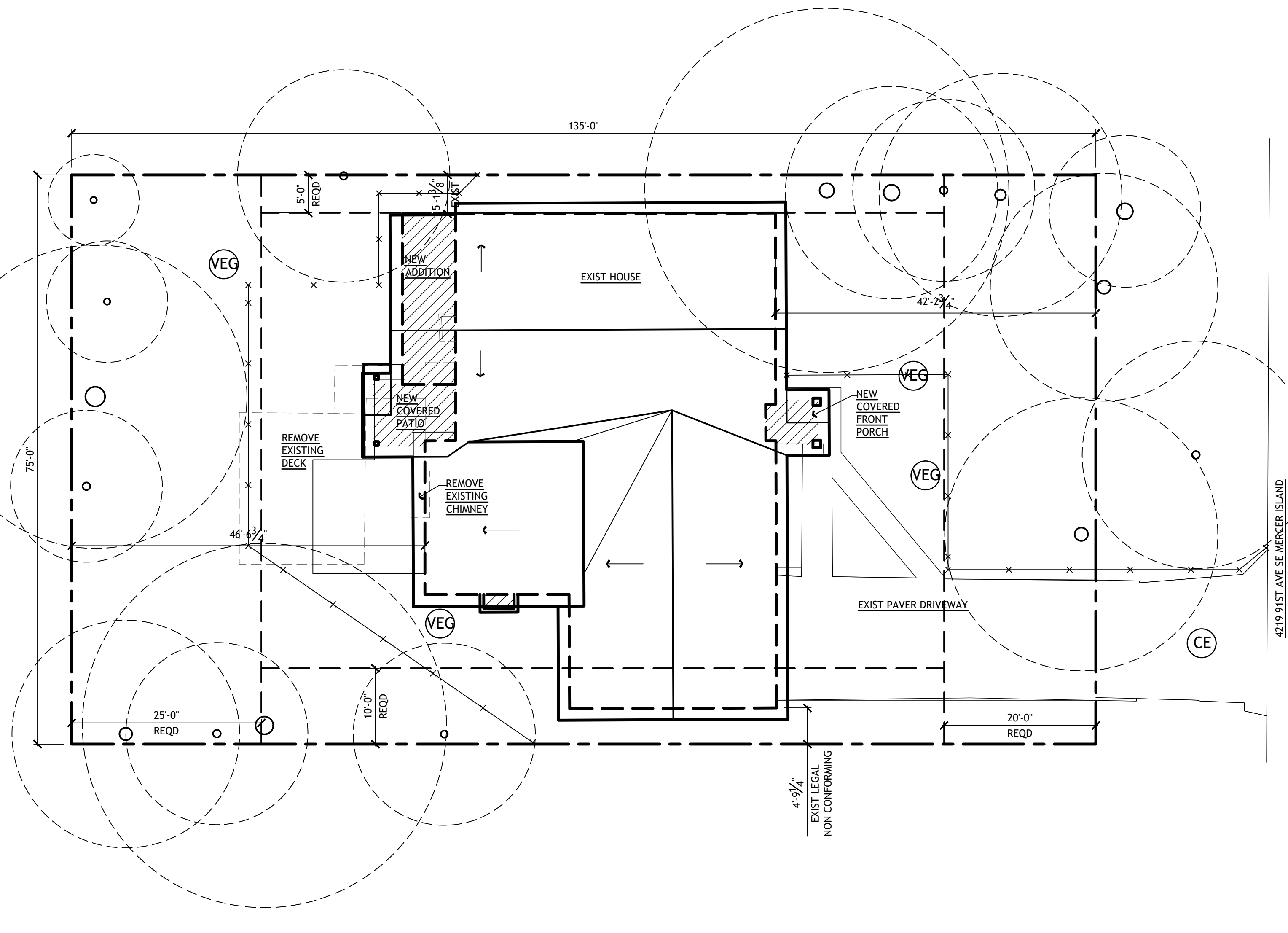


SYMBOL: (CS)

STOCKPILE AND EXPOSED SLOPE COVERING

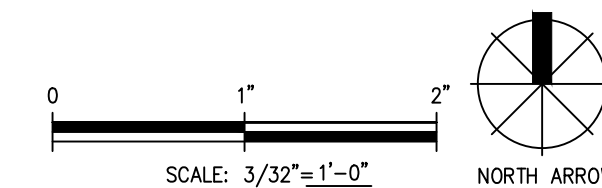


SYMBOL: (SP)



CONSTRUCTION STORMWATER CONTROL & POST CONSTRUCTION SOIL MANAGEMENT PLAN

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.



TEMPLATE VERSION:
2017-06-02

STANDARD CONSTRUCTION STORMWATER CONTROL (CSC) AND
POST CONSTRUCTION SOIL MANAGEMENT (SOIL) PLAN

APPLICANT PLAN SET

DATE: 00/00/0000

STANDARD
CSC/SOIL
PLAN

SHEET CSC

**TABLE 406.2 CREDIT
SEE COVERSHEET A1-1**

ADDITION LESS THAN 500 SF = 5 POINTS REQUIRED. OPTION 3A: HIGH EFFICIENCY HVAC EQUIPMENT. GAS FIRED FURNACE 94% AFUE OR BETTER.

ENERGY CODE NOTES

- SEC 402.4.1.2 TESTING - "The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. Once visual inspection has confirmed sealing (see Table R402.4.1.1), operable windows and doors manufactured by small business shall be permitted to be sealed off at the frame prior to the test."
- SEC 403.1 CONTROLS, MANDATORY- "At least one thermostat shall be provided for each separate heating and cooling system." SEE SEC 403.1.1 for forced air furnace requirements; see SEC 403.1.2 for heat pump requirements.
- SEC 403.2.2 SEALING - Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code as applicable. RESIDENTIAL ENERGY EFFICIENCY R-222012 WA ENERGY CODE

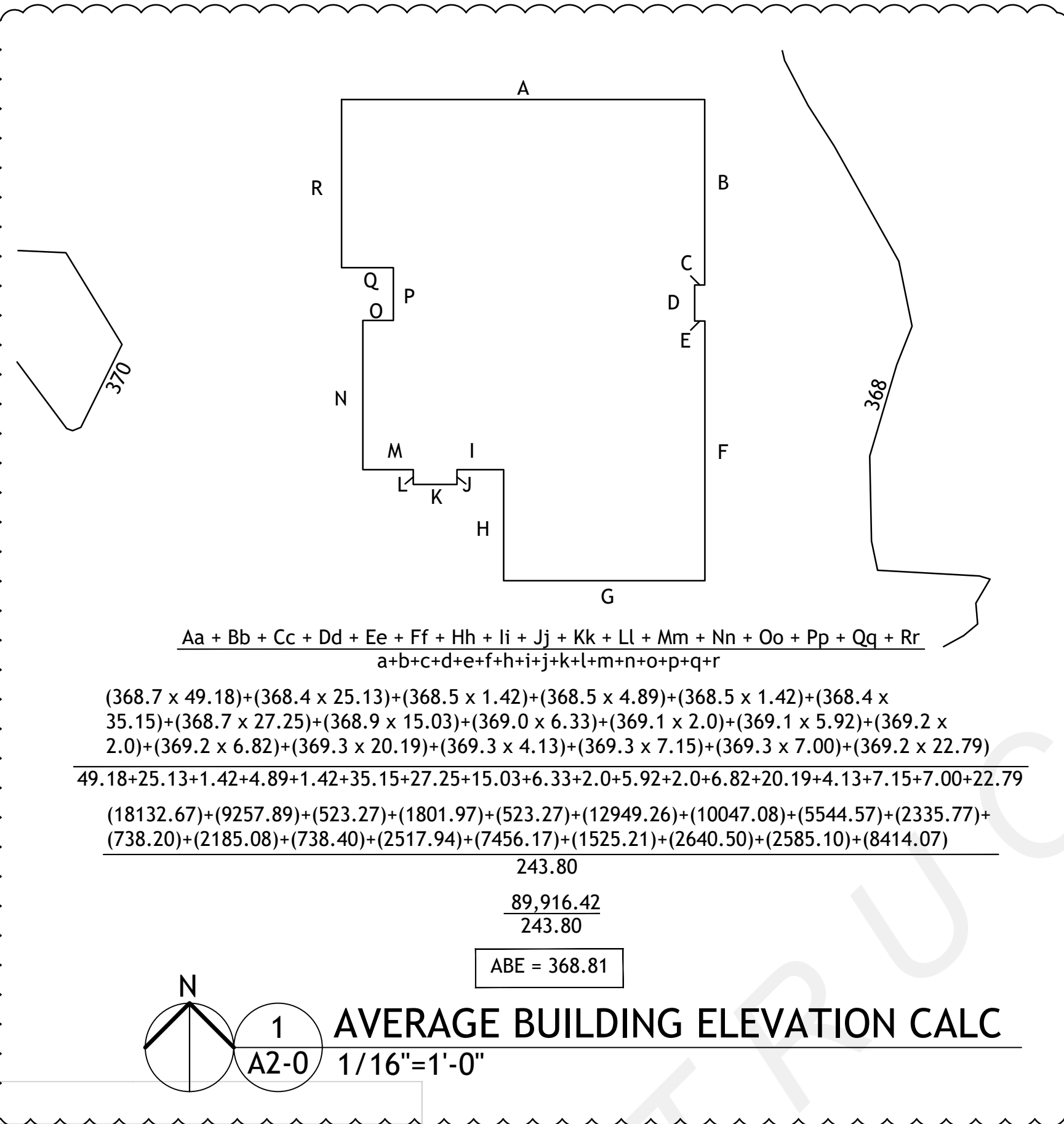
403.2.2 Sealing (Mandatory). "Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code as applicable."

"Ducts shall be leak tested in accordance with WSU RS-33, using the maximum duct leakage rates specified. Duct tightness shall be verified by either of the following:

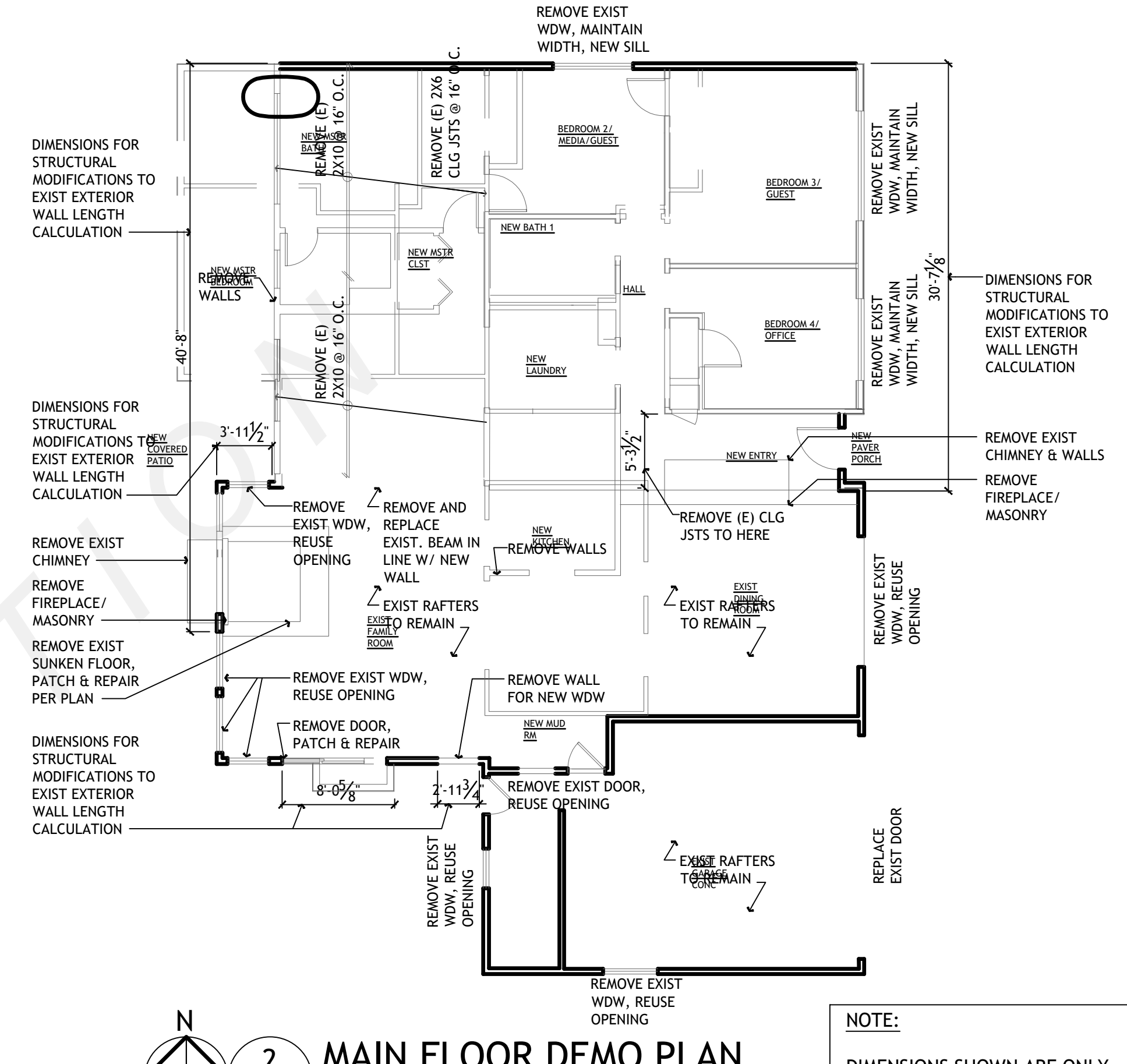
- Postconstruction test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure Differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's airhandler enclosure. All register boots shall be taped or otherwise sealed during the test. Leakage to outdoors shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m 2) of conditioned floor area.
- Rough-in test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. All Registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 3 cfm (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area."

"Exception: The total leakage test is not required for ducts and air handlers located entirely within the building thermal envelope. Ducts located in crawl spaces do not qualify for this exception."

- SEC 404.1 - "A minimum of 75 percent of the lamps in permanently installed lamps in lighting fixtures shall be high-efficacy lamps."



1 AVERAGE BUILDING ELEVATION CALC
A2-0 1/16"=1'-0"



NOTE:
DIMENSIONS SHOWN ARE ONLY FOR EXIST. WALL LENGTH MOD. CALCULATION. SEE A2-1, ETC. FOR CONSTRUCTION DIMENSIONS.

DOOR SCHEDULE

CONTRACTOR TO VERIFY DOOR PACKAGE PRIOR TO PLACING ORDER
VERIFY DOOR HARDWARE W/ OWNERS & ARCHITECT

DOOR NUMBER	MATERIAL	GLASS TYPE	PANEL SIZE WIDTH	HEIGHT	THICK.	GLASS AREA	OPERATION	FINISH	NOTES	HARDWARE
001	MARVIN ULTIMATE	N/A	3'-0"	6'-8"	1-3/4"	N/A	SWING	VFY		ENTRY SET
002	FRANK LUMBER P-20	N/A	2'-8"	6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
003	MARVIN ULTIMATE	CLEAR TEMPERED	6'-0"	6'-8"	N/A	N/A	GLIDER	SUEDE, VFY		EXTERIOR PATIO
004	FRANK LUMBER P-20	N/A	3'-0"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
005	FRANK LUMBER P-20	N/A	3'-0"	6'-8"	1-1/2"	N/A	POCKET	PAINT		VFY
006	FRANK LUMBER P-20	N/A	3'-0"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
007	MARVIN ULTIMATE	CLEAR TEMPERED	5'-0"	6'-8"	N/A	N/A	GLIDER	SUEDE, VFY		EXTERIOR PATIO, EGRESS
008	FRANK LUMBER P-20	N/A	2'-6"	6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
009	CODEL FIBERGLASS SMOOTH	N/A	2'-8"	6'-8"	1-3/4"	N/A	SWING	PAINT	FIRE-RATED, U=0.20, SELF CLOSING.	PASSAGE, DEADBOLT
010	CODEL FIBERGLASS SMOOTH	N/A	2'-8"	6'-8"	1-3/4"	N/A	SWING	PAINT	U=0.20	PASSAGE, DEADBOLT
011	NOT USED	N/A	2'-8"	6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
012	FRANK LUMBER P-20	N/A	PAIR 2'-6"	6'-8"	1-1/2"	N/A	BIFOLD	PAINT		VFY
013	FRANK LUMBER BP-20	N/A	2'-6"	6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
014	FRANK LUMBER BP-20	N/A	PAIR 3'-0"	6'-8"	1-1/2"	N/A	SLIDING	PAINT DARK BRONZE ANODIZED		VFY SLIDING & OTHER HARDWARE
015	NORTHWEST GARAGE DOOR MC44	SATIN ETCH	16'-0"	7'-0"	STANDAR	N/A	GARAGE	ANODIZED	EXISTING OPENING. VFY ALL SIZES & MAT'LS	VFY CLOSER & OTHER HARDWARE
016	FRANK LUMBER P-20	N/A	3'-0"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
017	FRANK LUMBER P-20	N/A	2'-6"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
018	FRANK LUMBER P-20	N/A	2'-8"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
019	FRANK LUMBER P-20	N/A	2'-6"	6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY

GLAZING SCHEDULE

CONTRACTOR TO VERIFY WDW & DOOR PACKAGE PRIOR TO PLACING ORDER
ALL DIMENSIONS ARE APPROXIMATE AND TO BE FIELD VERIFIED BY CONTRACTOR
WDWS ARE MARVIN ULTIMATE U=30, VFY COLOR

HARDWARE TO BE DETERMINED, SCREENS TO BE TRUSCENE

NUMBER	MATERIAL	MODEL #	EXT COLOR	INT COLOR	R.O. WIDTH	R.O. HEIGHT	AREA	OPERATION	NOTES
A	MARVIN ULTIMATE		SUEDE	PRIMED	112.125	X 58.5	45.55 SF	(2) DBL HUNG + FIXED	MULLED TOGETHER, VFY SIZE, EXIST R.O., SEE ELEV
B	MARVIN ULTIMATE		SUEDE	PRIMED	47	X 24	7.83 SF	SLIDER	VFY SIZE, EXIST R.O.
C	MARVIN ULTIMATE		SUEDE	PRIMED	34	X 34	8.03 SF	SLIDER	VFY SIZE, EXIST R.O.
D	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	DBL HUNG	MATCH & ALIGN W/ EXIST WDW/E
E	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	DBL HUNG	VFY SIZE, EXIST R.O.
F	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	VFY SIZE, EXIST R.O.
G	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	VFY SIZE, EXIST R.O.
H	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	MATCH G
J	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	MATCH G
K	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	1 DBL HUNG	VFY SIZE, EXIST R.O.
L	MARVIN ULTIMATE		SUEDE	PRIMED	30.25	X 48	10.08 SF	DBL HUNG	CUDH-NG2420
M	MARVIN ULTIMATE		SUEDE	PRIMED	30.25	X 48	10.08 SF	DBL HUNG	CUDH-NG2420
N	MARVIN ULTIMATE		SUEDE	PRIMED	31	X 23.625	5.09 SF	AWNING	VFY., OBSCURE GLASS, CUAWN3024
P	MARVIN ULTIMATE		SUEDE	PRIMED	68.875	X 53.625	25.65 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
Q	MARVIN ULTIMATE		SUEDE	PRIMED	94.125	X 53.625	35.05 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
R	MARVIN ULTIMATE		SUEDE	PRIMED	70.25	X 53.625	26.16 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
S	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	FIXED, VFY SIZE, EXIST R.O.
T	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	FIXED, VFY SIZE, EXIST R.O.
V	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	E
W	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	E
Y	VELUX	FCM2246	NA	NA	22.5	X 46.5	7.27 SF	SKYLIGHT	FIXED, VFY SIZE.
Z	SOLATUBE	290 DS	NA	NA	14.75 DIA			SOLATUBE	FIXED, VFY SIZE.

PERMIT

energy notes, demo plans, schedule

Whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

11/19/19	CORR. RESPONSE
09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING

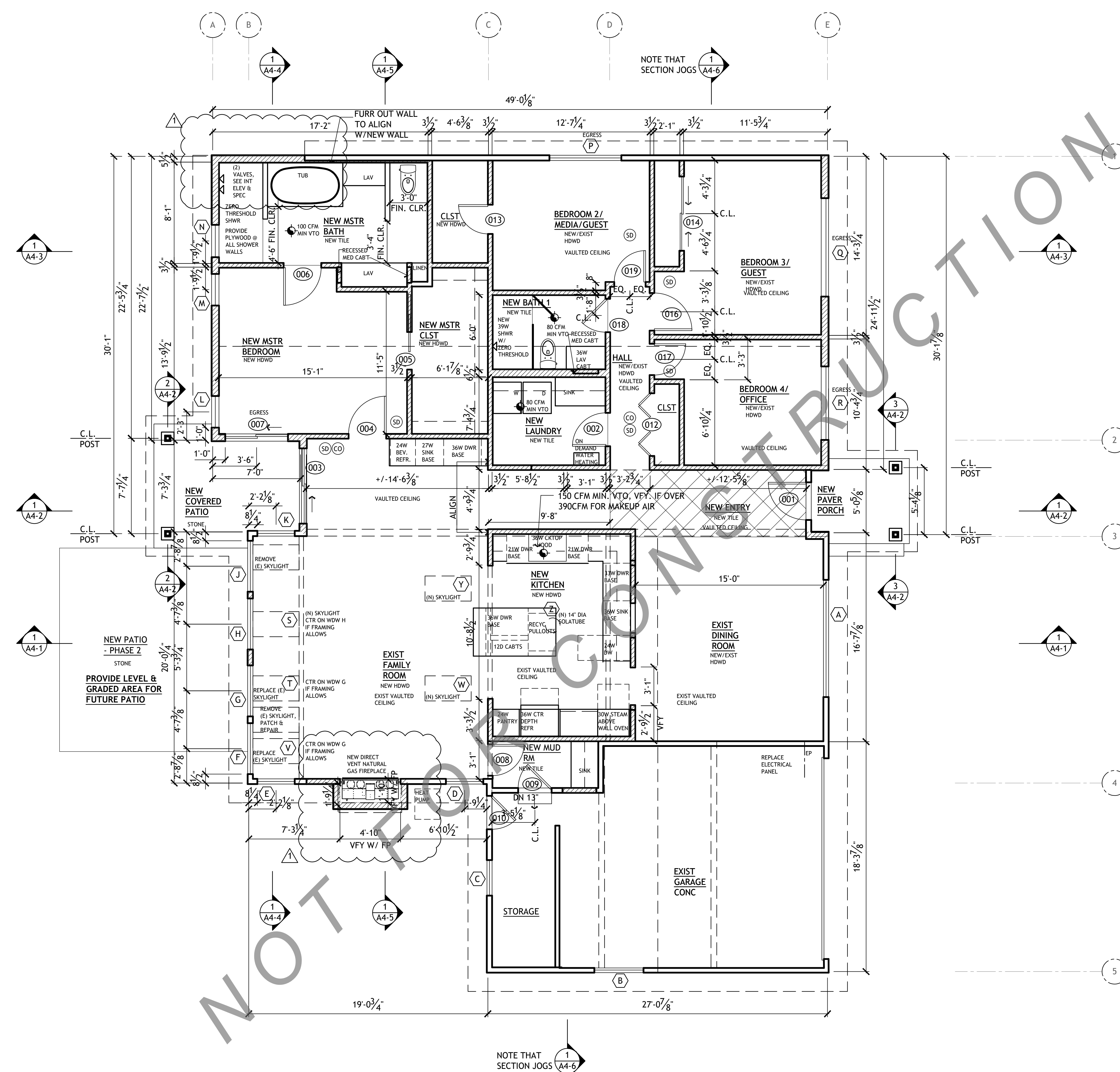
A2-0

9077 REGISTERED ARCHITECT
SHERI LYNN NEWBOLD
STATE OF WASHINGTON

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sustainable architecture interior design

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Seattle WA 98103

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live-work-play.net



FLOOR PLAN NOTES

1. ALL DIMS ARE TO FACE OF STUD UNLESS NOTIFIED OTHERWISE (U.N.O.)
2. ALL HEADERS TO BE INSULATED TO R-10 MIN.
3. ALL WDWS & DOORS TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
4. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS. ALL OPENED EXIST WALLS TO BE FILLED W/ R-13 BATT'S.
6. AIRSEALING PER OR BEYOND CODE.
7. SEE STRUCTURAL NOTES FOR ADDITIONAL INFO.

SMOKE DETECTORS: (SD)

ALL SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH IRC R314.
IRC 314.2.2 DWELLING UNIT IS REQUIRED TO INSTALL SMOKE ALARMS AS REQUIRED FOR NEW CONSTRUCTION AND BE HARDWIRED AND INTERCONNECTED.
IRC 314.3.4 SMOKE ALARM LOCATION TO BE AT LEAST 3 FEET HORIZONTALLY FROM BATHROOM DOORS TO BATHROOMS WITH TUBS OR SHOWERS.

CARBON MONOXIDE DETECTORS: (CO)

CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH IRC R315.

M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.

ELECTRICAL/ LIGHTING NOTES

1. ELECTRICAL PANEL TO BE REPLACED.
2. ASSUME ALL WIRING TO BE REPLACED.
3. ALL NEW LIGHTING IN ALL ROOMS TO BE ADDED. AT PUBLIC SPACES AND MASTER BEDROOM, ASSUME MULTIPLE LIGHT FIXTURES PER SPACE AND UNDERCABINET LIGHTING AT THE KITCHEN.
4. ALL LIGHTING WILL BE DEDICATED LED FIXTURES OR HAVE LED LAMPING.

PLUMBING NOTES

1. ALL ROUGH PLUMBING TO BE REPLACED EVEN IF A TRIM IS NOT BEING REPLACED.
2. VERIFY IF WATER LINE NEEDS TO BE REPLACED FROM METER TO HOUSE.
3. KITCHEN AND ALL NEW/ REMODELED BATHROOMS WILL HAVE KOHLER/ GROHE/ HANSGRÖHE FIXTURES.
4. SEE PLANS FOR ANY FURTHER NOTES.

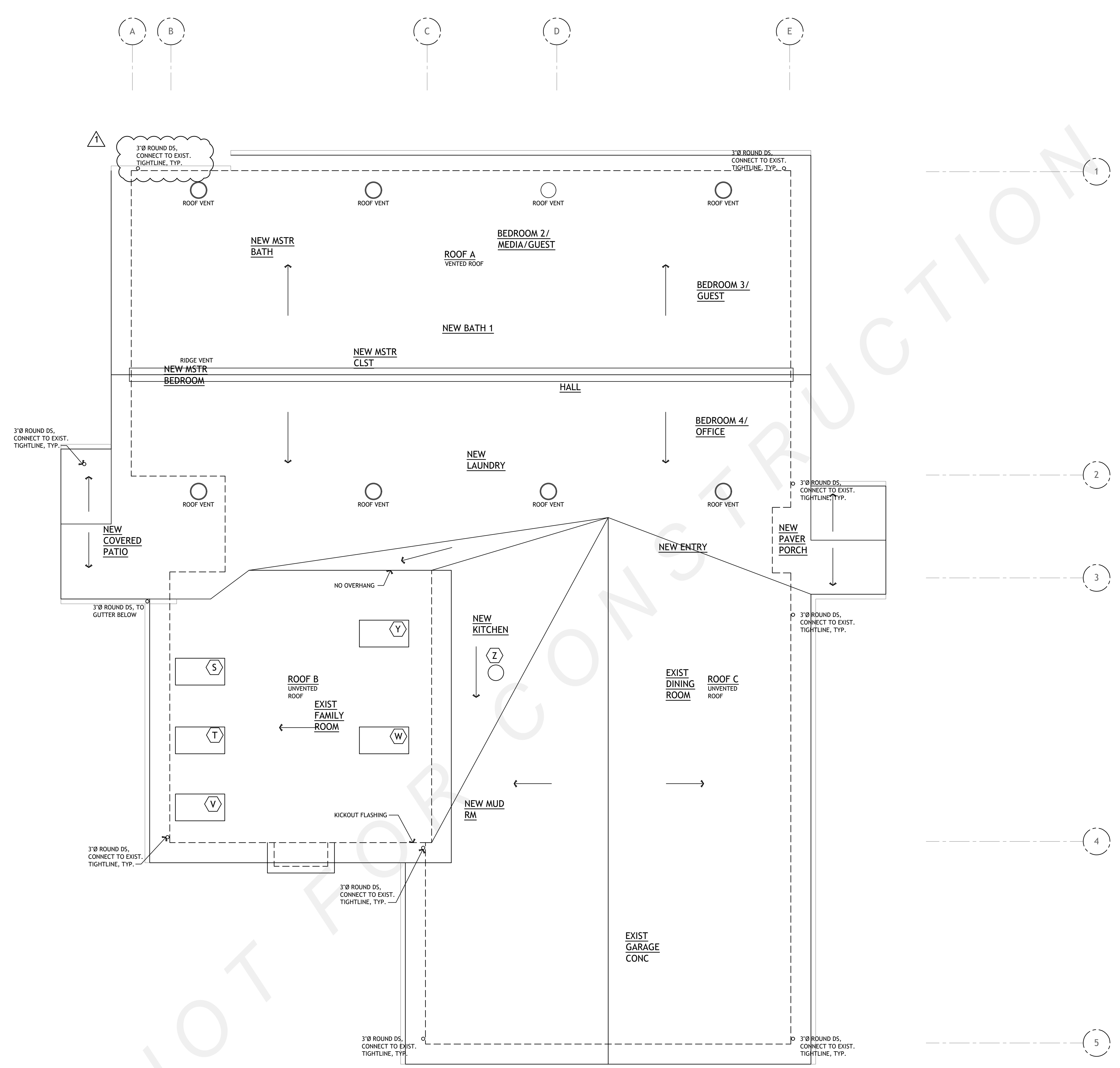
1 MAIN FLOOR PLAN
1/4" = 1'-0"

NOTE THAT SECTION JOGS A4-6

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06/04/19	BUDGETING

A2-1



ROOF VENTILATION CALCULATION

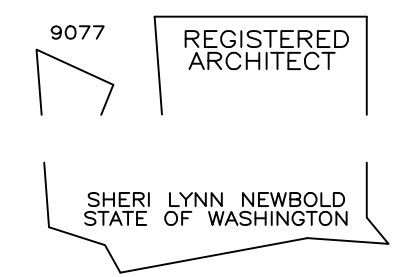
ROOF A - 1677.0 SF
 1677.0 SF / 150 SF = 11.18 SF
 11.18 SF X 144 = 1609.92 SQ IN NFVA

UPPER VENTING RIDGE VENT (536.64 MIN)
 EZ VENT-N-CLOSURE, 12 SQ IN NFVA PER LINEAR FOOT
 52 FT RIDGE * 12 = 624 SQ IN

LOWER VENTING NORTH (536.64 MIN)
 (4) AIRVENT B-144 METAL DOME VENTS, 144 SQ IN EACH.
 144 * 4 = 576 SQ IN

LOWER VENTING SOUTH (536.64 MIN)
 (4) AIRVENT B-144 METAL DOME VENTS, 144 SQ IN EACH.
 144 * 4 = 576 SQ IN

1 ROOF PLAN
 A2-2 1/4" = 1'-0"



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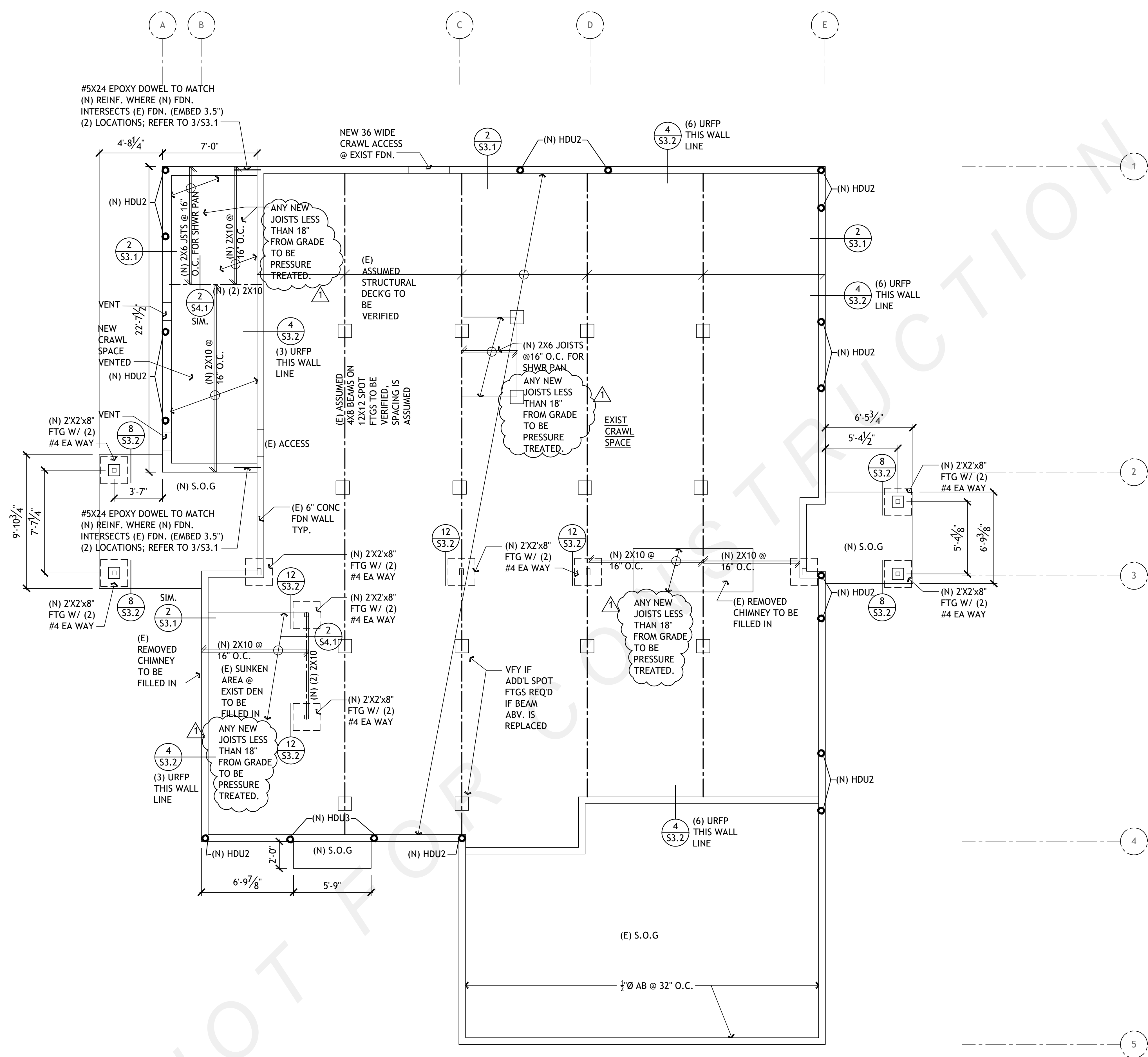
roof plan

whitney-gedeon residence
 4219 91st avenue SE mercer island, wa 98040

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A2-2



CRAWL SPACE VENTING:
1 SF/300 SF
NORTHWEST ADDITION: 134.8 SF
AREA/300 = .45 SF = 64.7 SQ IN
(1) VENT @ 100 SQ IN

EXISTING: 2045.1 SF
AREA/300 = 6.82 SF = 981.65 SQ IN
(10) VENTS @ 100 SQ IN

VFY (10) VENTS TOTAL @ EXIST FDN

- FOUNDATION PLAN NOTES**
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
 - ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.
 - PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
 - REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 11/S3.1.
 - "HDUx" REFERS TO HOLDDOWNS PER 9/S3.1
 - REFER TO 4/S3.1 WHERE PIPES PENETRATE FOUNDATION.
 - CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.
 - FLOOR FRAMING AT CRAWLSPACE TO BE 2x10 @ 16" O.C. U.N.O.
 - FLOOR SHEATHING SHALL BE 3/4" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES w/ 8D COMMON (0.131" DIA. X 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/S4.1)
 - CRAWLSPACE VENTILATION SHALL BE PROVIDED PER ARCH.

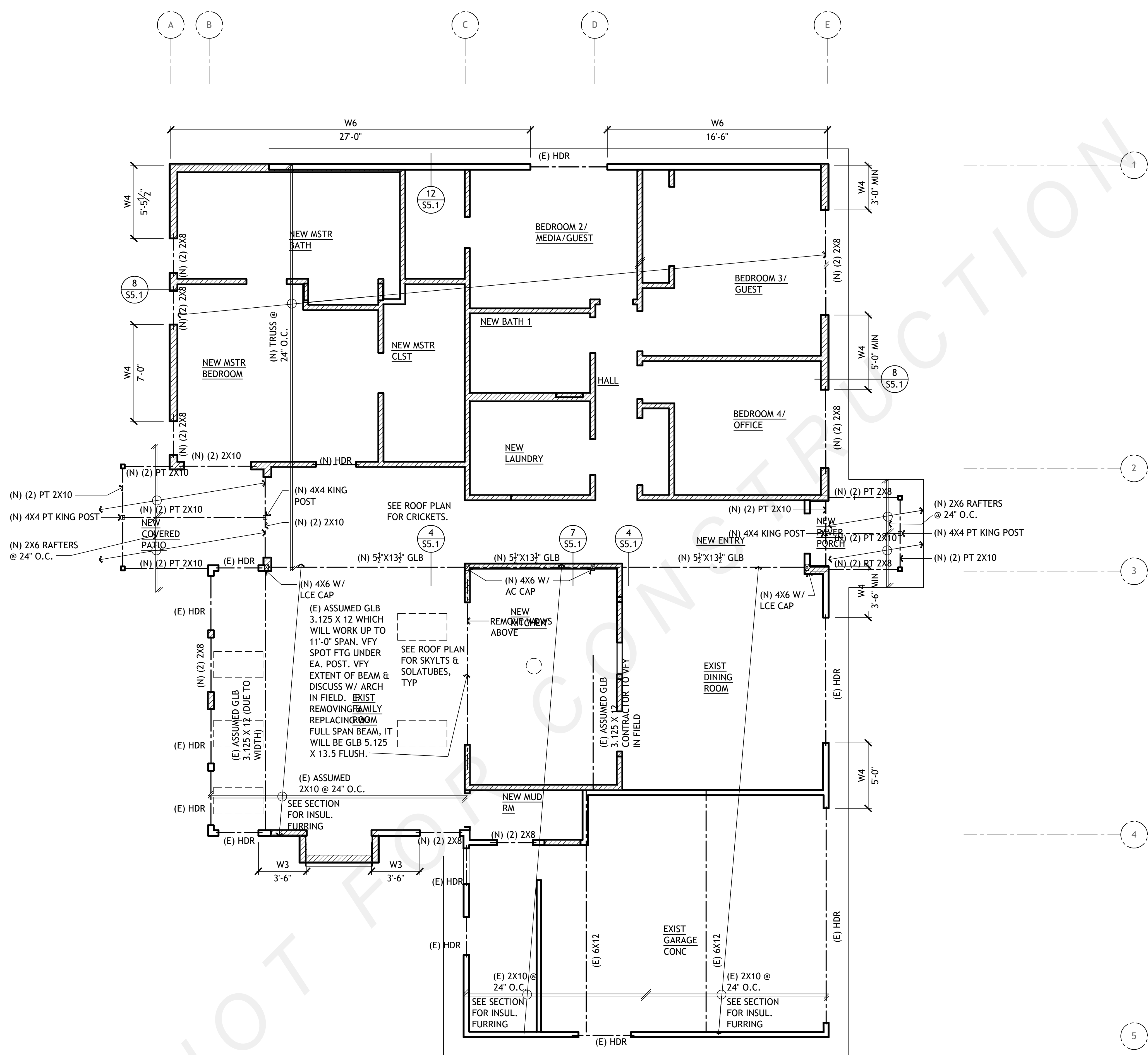
PERMIT
fdn/floor framing plan
whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

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DATE	DESCRIPTION
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09/24/19	PERMIT SUBMIT
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07/25/19	SEND TO ENGR
06/04/19	BUDGETING

A2-3

1
A2-3 EXIST FDN & MAIN FLR FRAMING PLAN
1/4" = 1'-0"



- ROOF PLAN NOTES**
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1)
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
 - NEW ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. (TRUSS DESIGN BY OTHERS U.N.O.).
 - NEW ROOF SHEATHING SHALL BE 4/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/8d COMMON (0.131" Dia. X 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/54.1)
 - "W#" REFERS TO SHEARWALL TYPE PER 3/54.1 & 7/54.1. ALL OTHER NEW NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
 - ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2x8. (REFER TO DETAIL 6/54.1)
 - PROVIDE TOP PLATE SPLICES PER 5/54.1
 - WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/4'-0" MAX SPAN. (REFER TO DETAIL 11/55.1 FOR CONNECTION OF OVERFRAMING TO PRIMARY ROOF)
 - REFER TO 11/54.1 AT SHEARWALL INTERSECTIONS.

PERMIT

roof framing plan

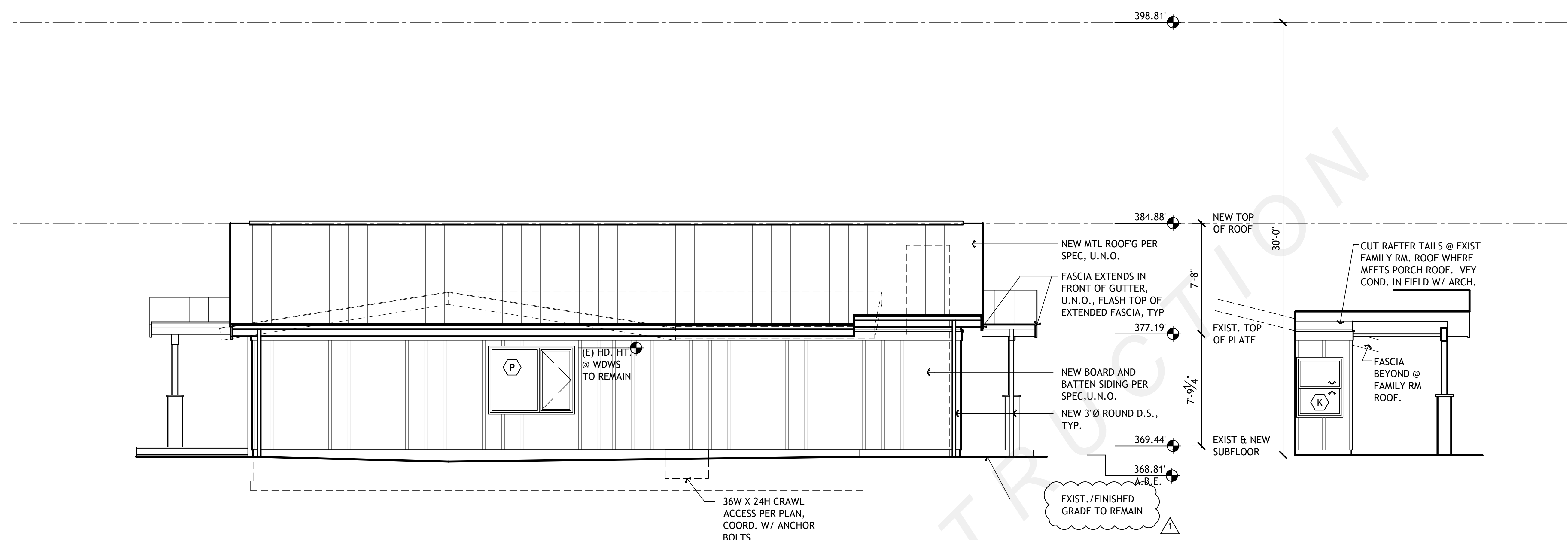
whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

1
A2-4
EXIST & NEW ROOF FRAMING PLAN
1/4" = 1'-0"

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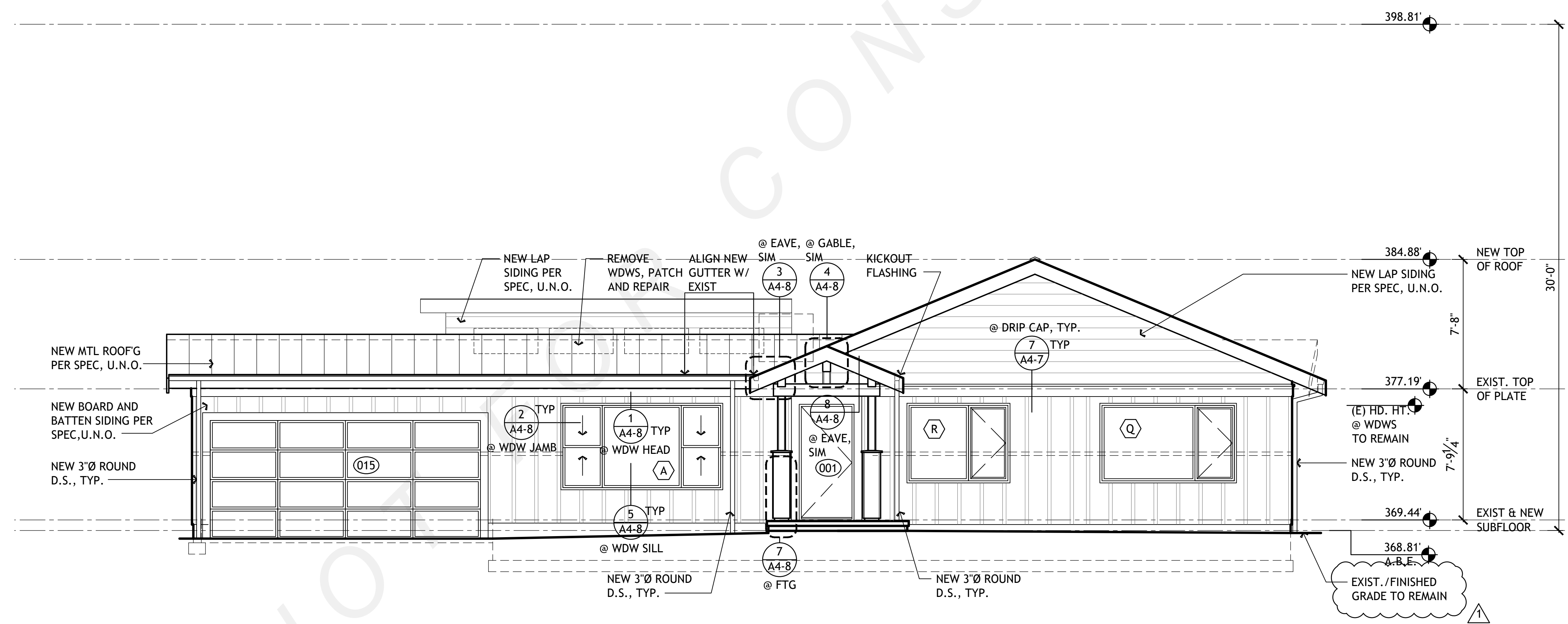
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09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING

A2-4



1 NORTH ELEVATION
A3-1 1/4" = 1'-0"

2 PARTIAL NORTH ELEVATION @ PATIO
A3-1 1/4" = 1'-0"



3 EAST (FRONT) ELEVATION
A3-1 1/4" = 1'-0"

TYP. SECTION/ ELEVATION NOTES

1. ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
3. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
4. VERIFY ALL DIMENSIONS WITH EXIST'G CONDITIONS & NOTIFY ARCHITECT OF DISCREPANCY.
5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS.
6. ALL NEW, RELOCATED OR UNCOVERED WINDOWS & DOORS TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
8. AIRSEAL PER OR BEYOND CODE.
9. MUST USE PLYWD WHERE SPECIFIED--NO OSB.
10. SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.

M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.

PERMIT LARGER SCOPE

exterior elevations

whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

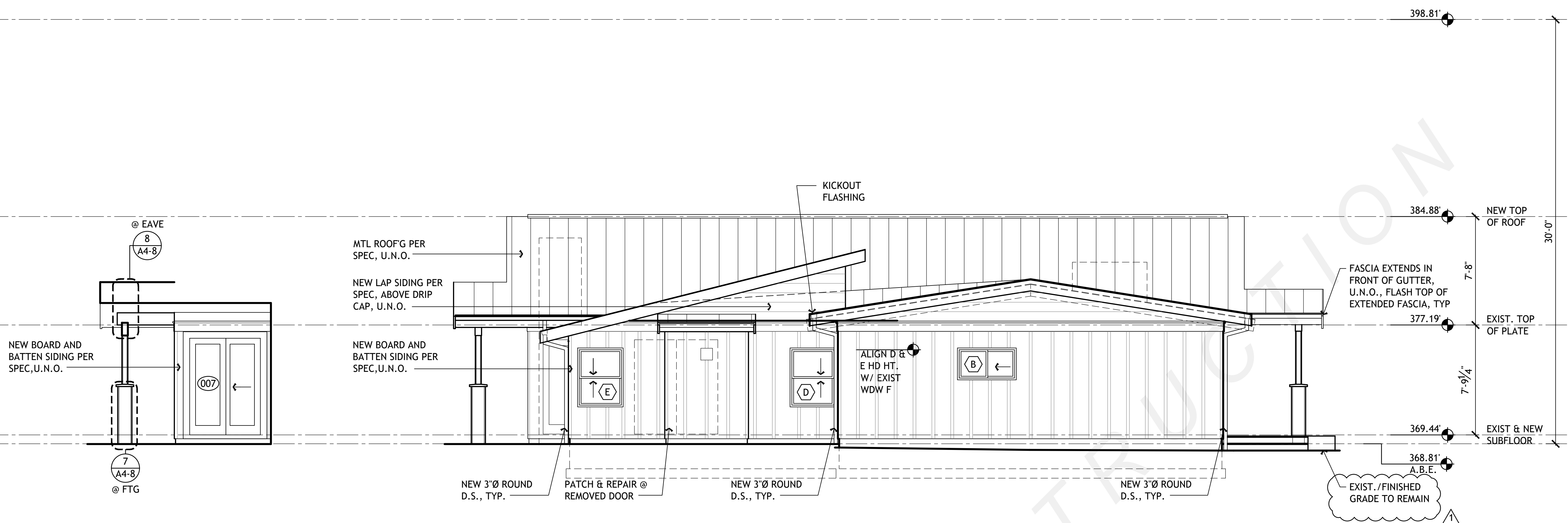
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A3-1

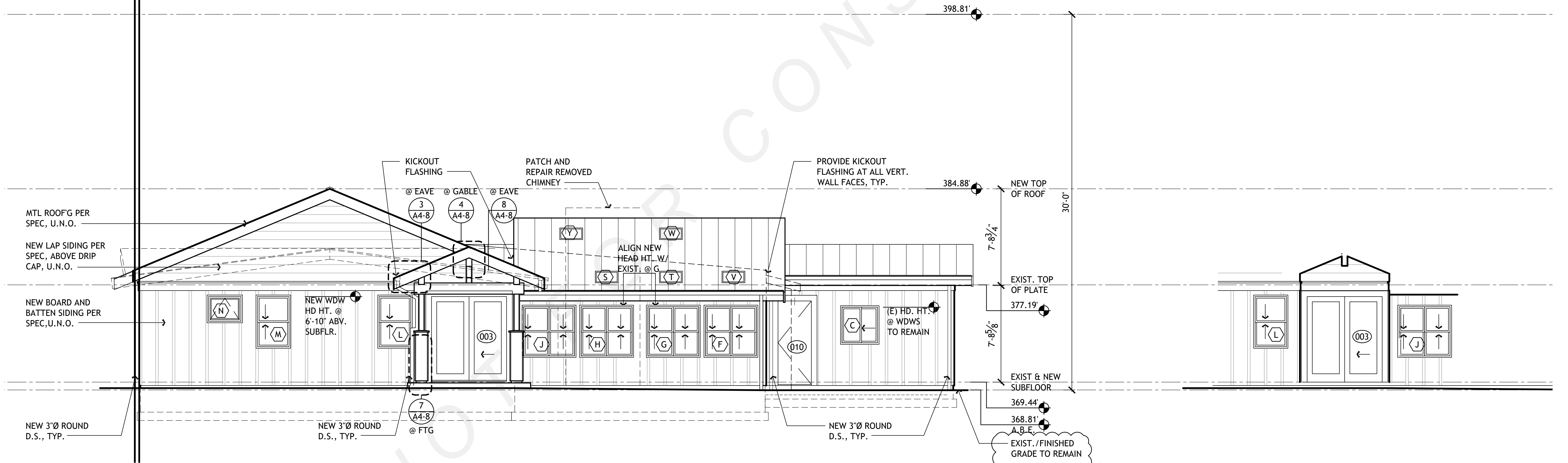
- TYP. SECTION/ ELEVATION NOTES
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 7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
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M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.



1 PARTIAL SOUTH ELEVATION @ PATIO
A3-2 1/4" = 1'-0"

2 SOUTH ELEVATION
A3-2 1/4" = 1'-0"



3 WEST ELEVATION
A3-2 1/4" = 1'-0"

4 PARTIAL WEST ELEVATION @ PATIO
A3-2 1/4" = 1'-0"

PERMIT LARGER SCOPE

exterior elevations

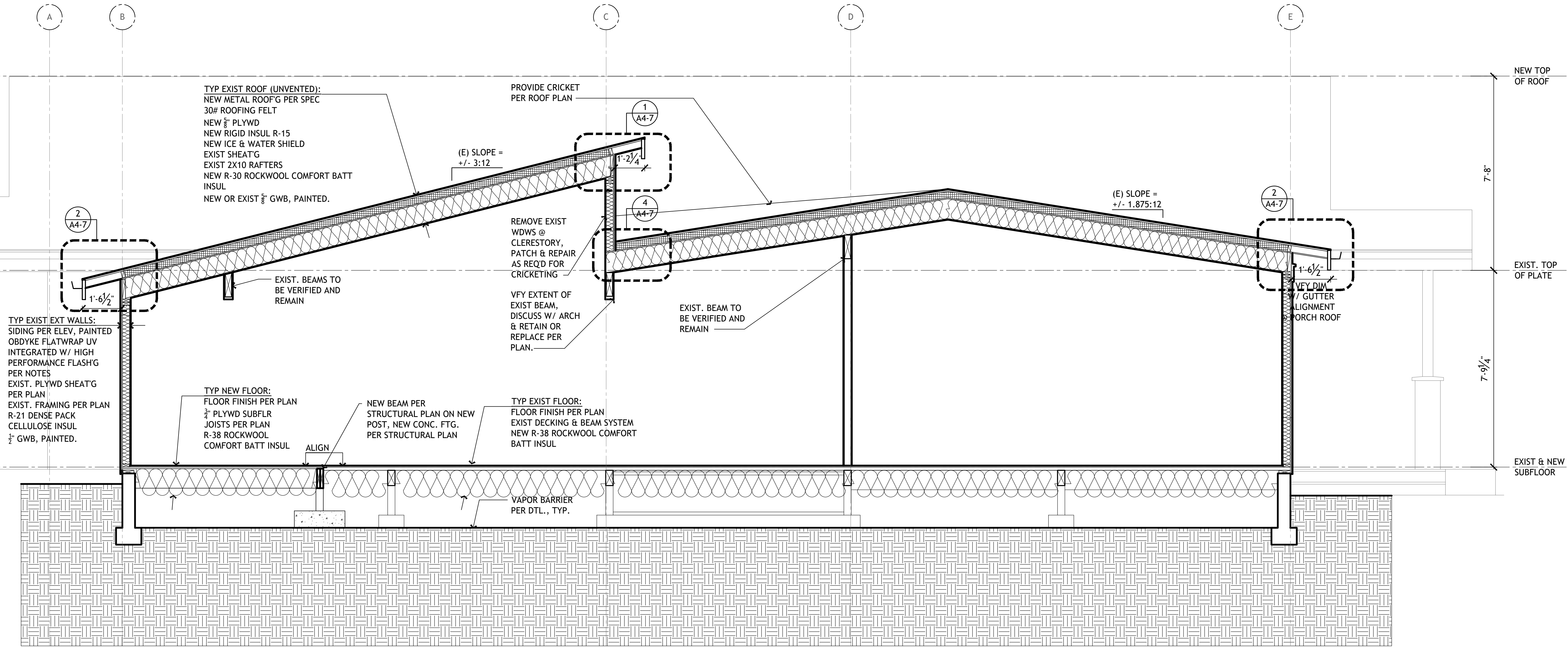
whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

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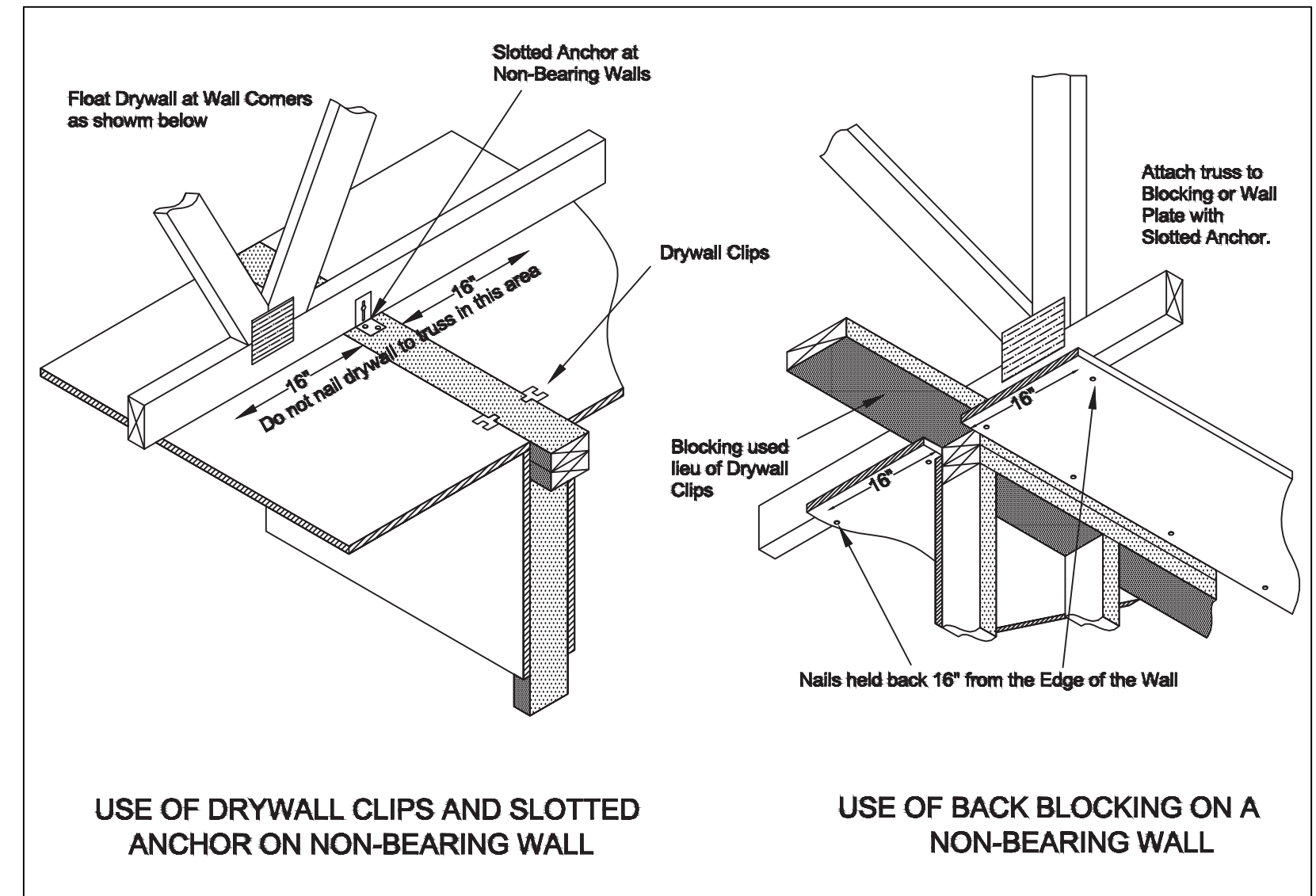
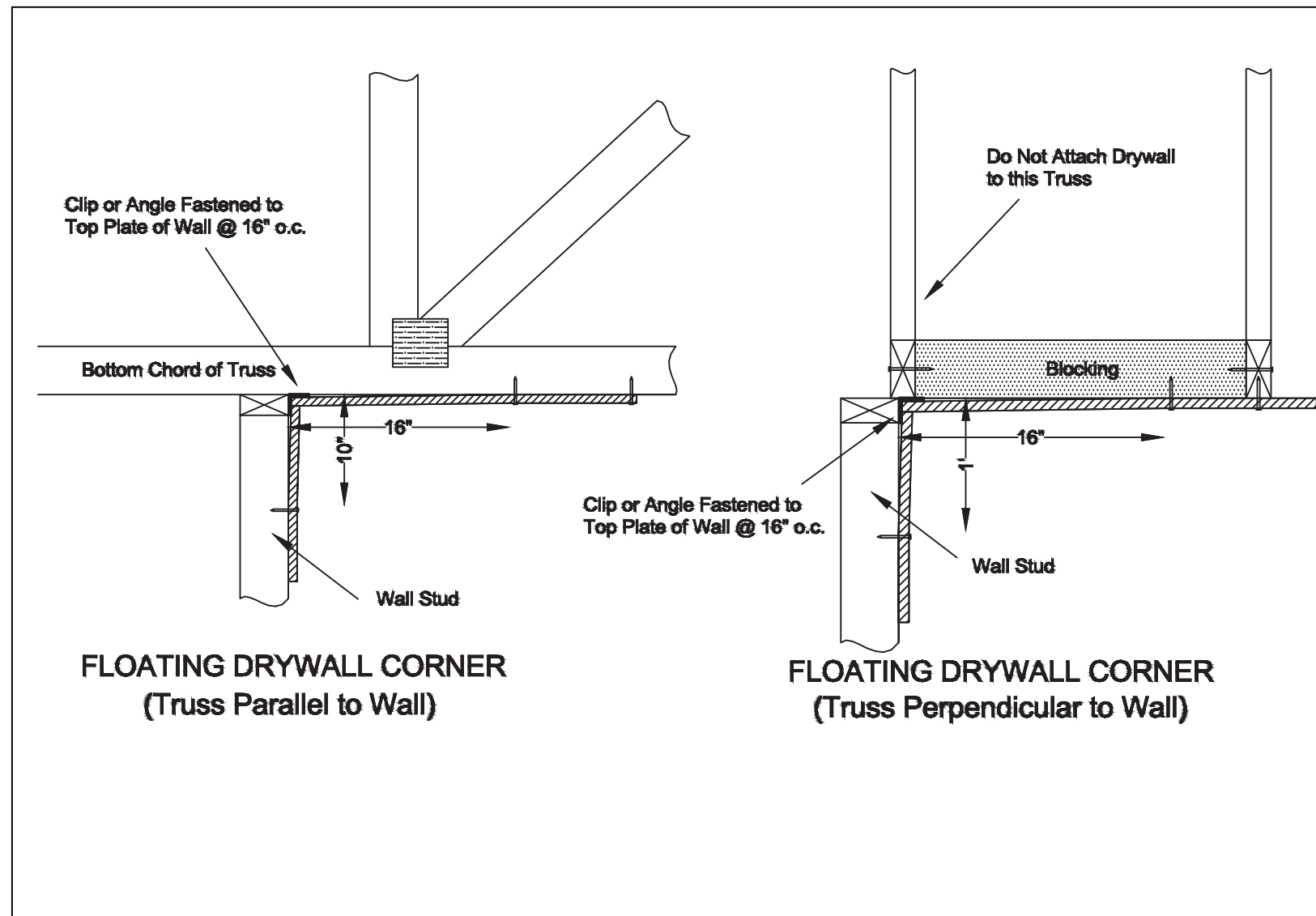
A3-2

09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING



1 SECTION A-A
 A4-1 1/2" = 1'-0"

- TYP. SECTION/ ELEVATION NOTES
- ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
 - ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
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 - VERIFY ALL DIMENSIONS WITH EXIST'G CONDITIONS & NOTIFY ARCHITECT OF DISCREPANCY.
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 - MUST USE PLYWD WHERE SPECIFIED--NO OSB.
 - SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.

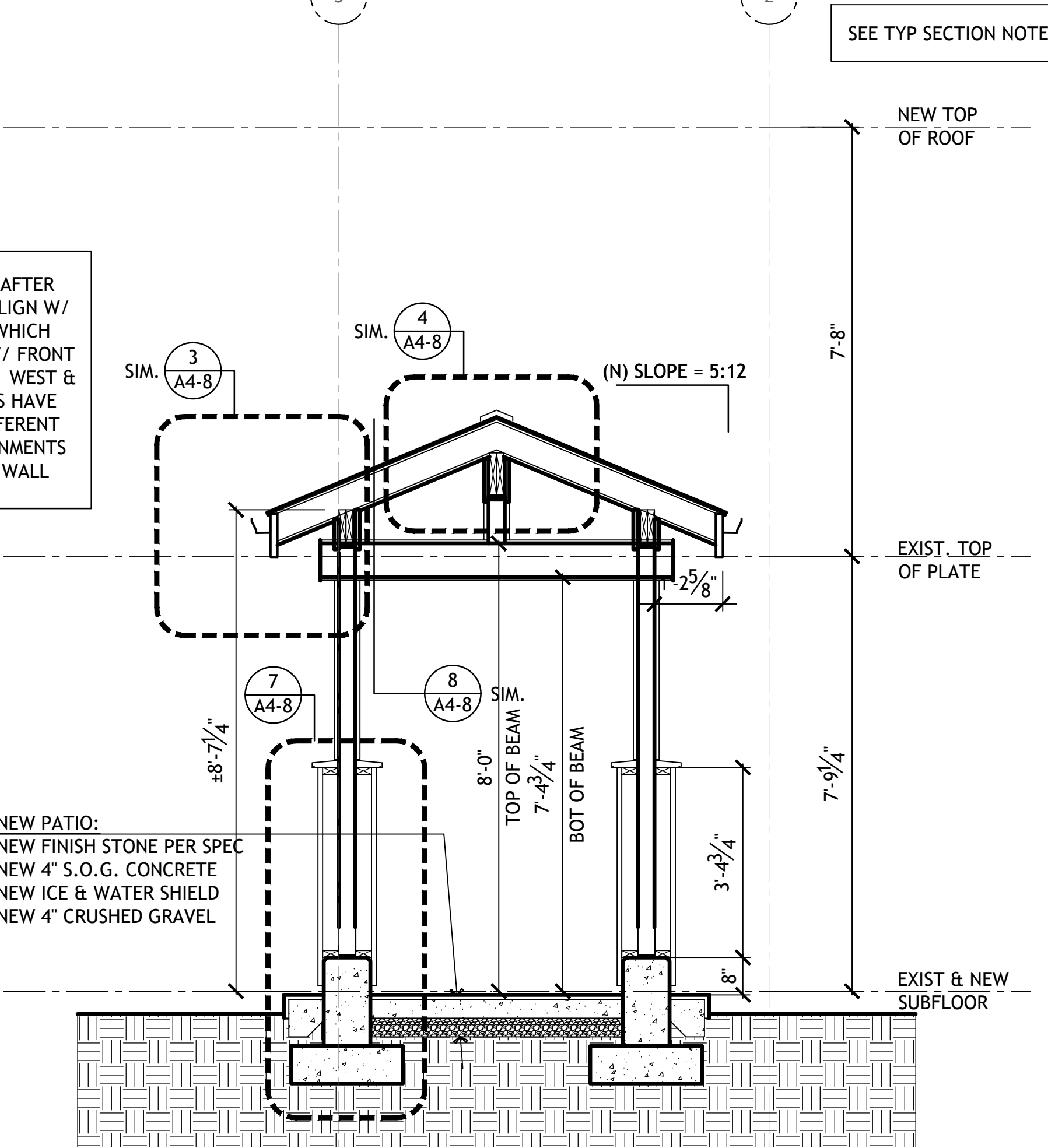
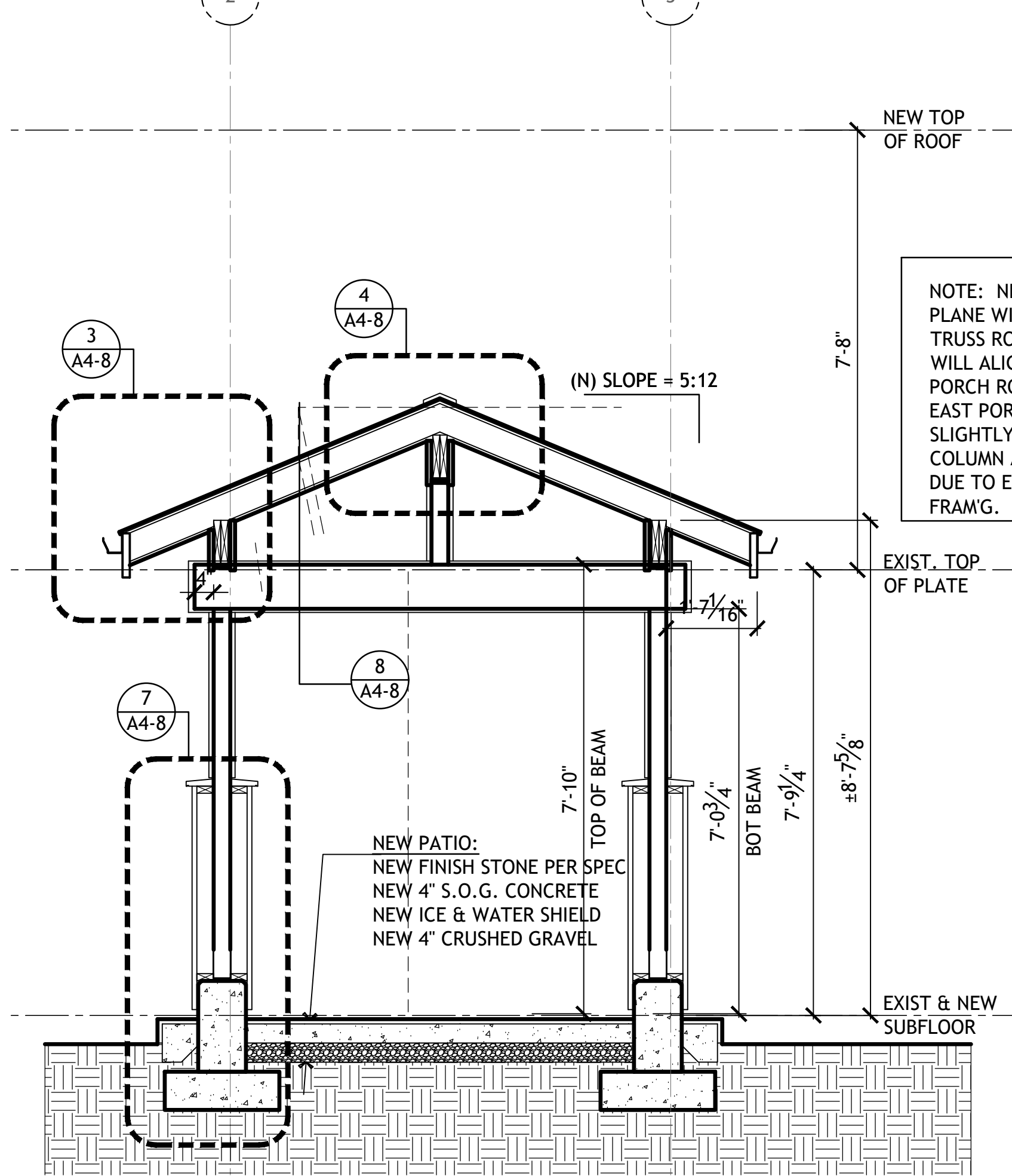
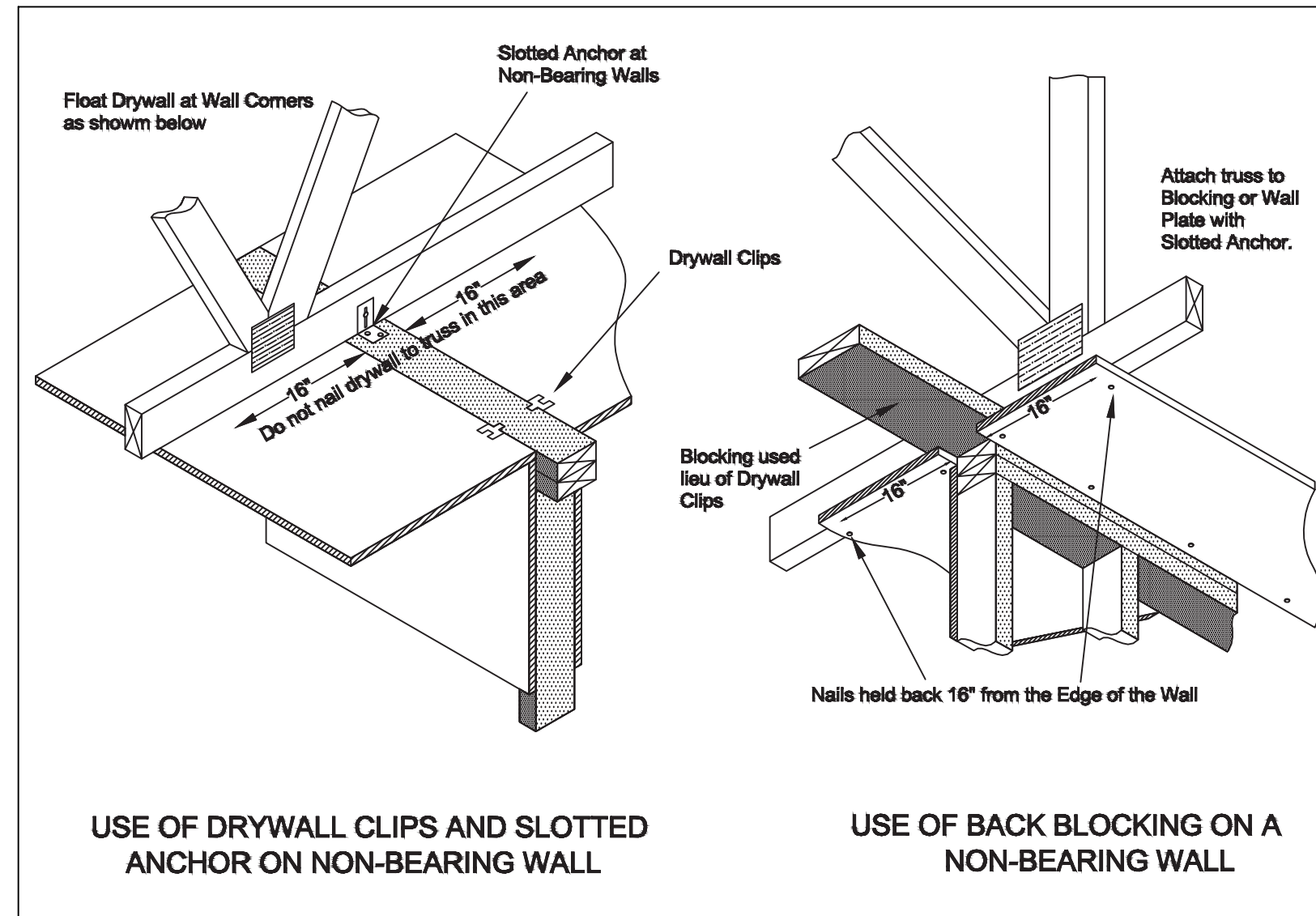
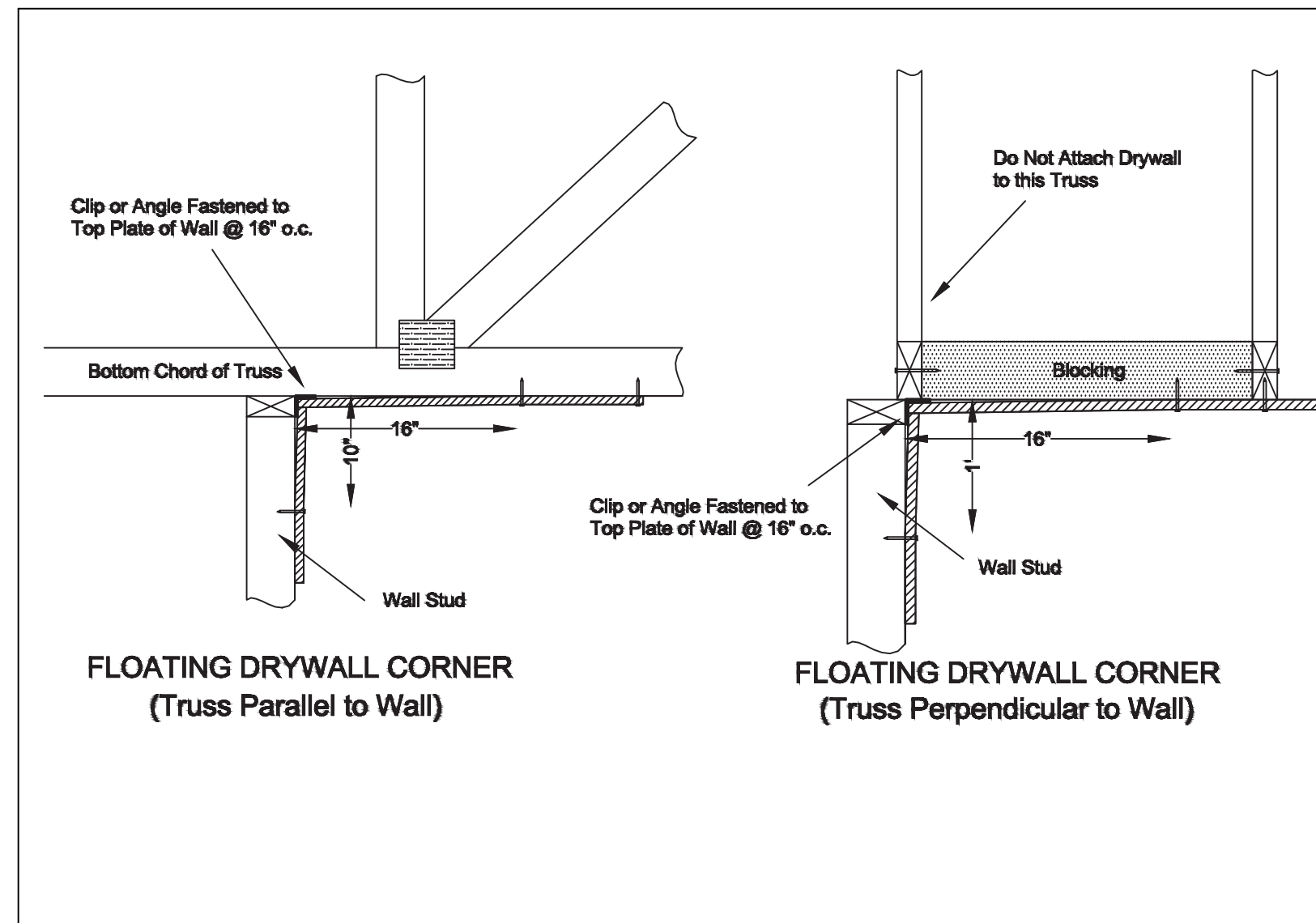
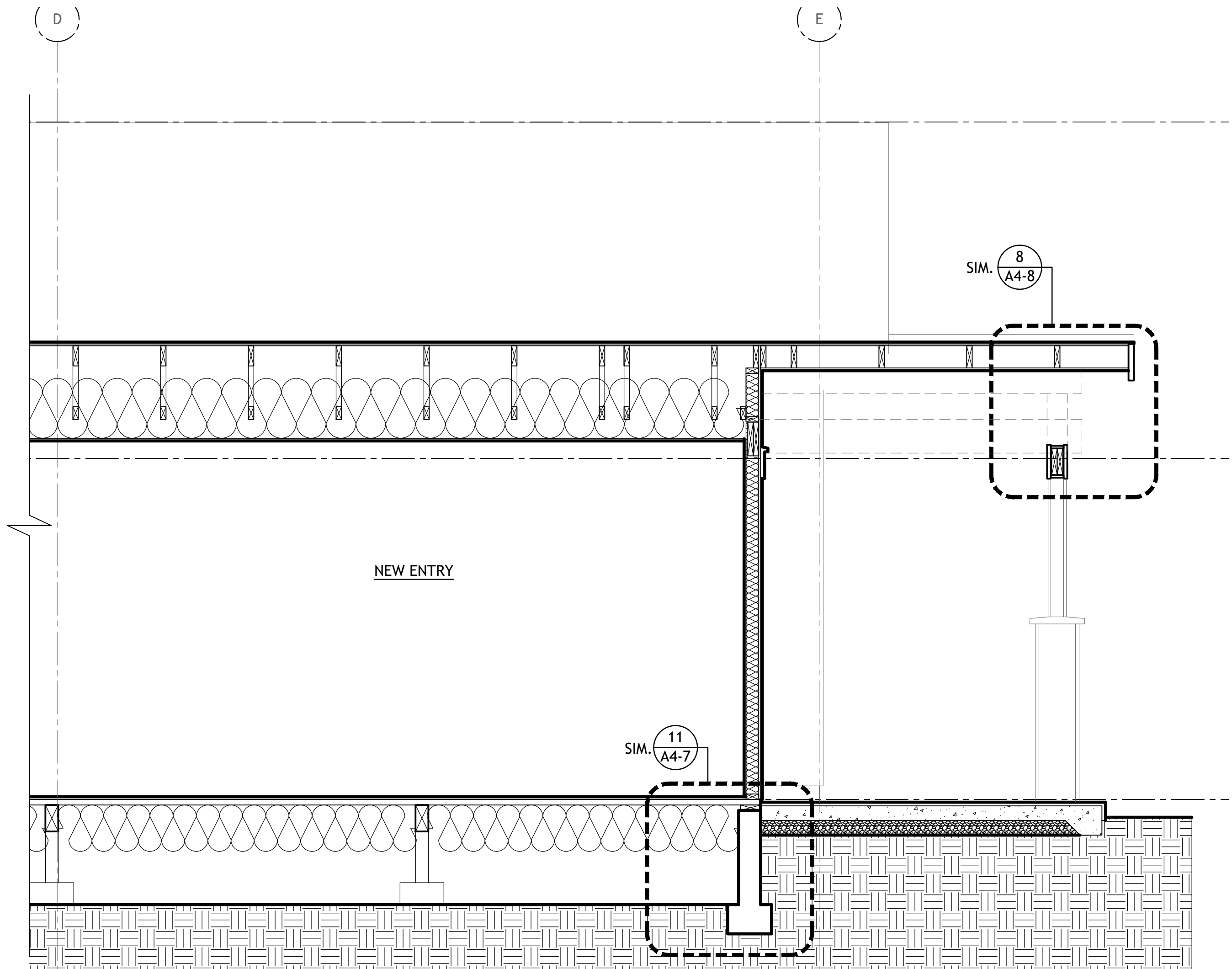
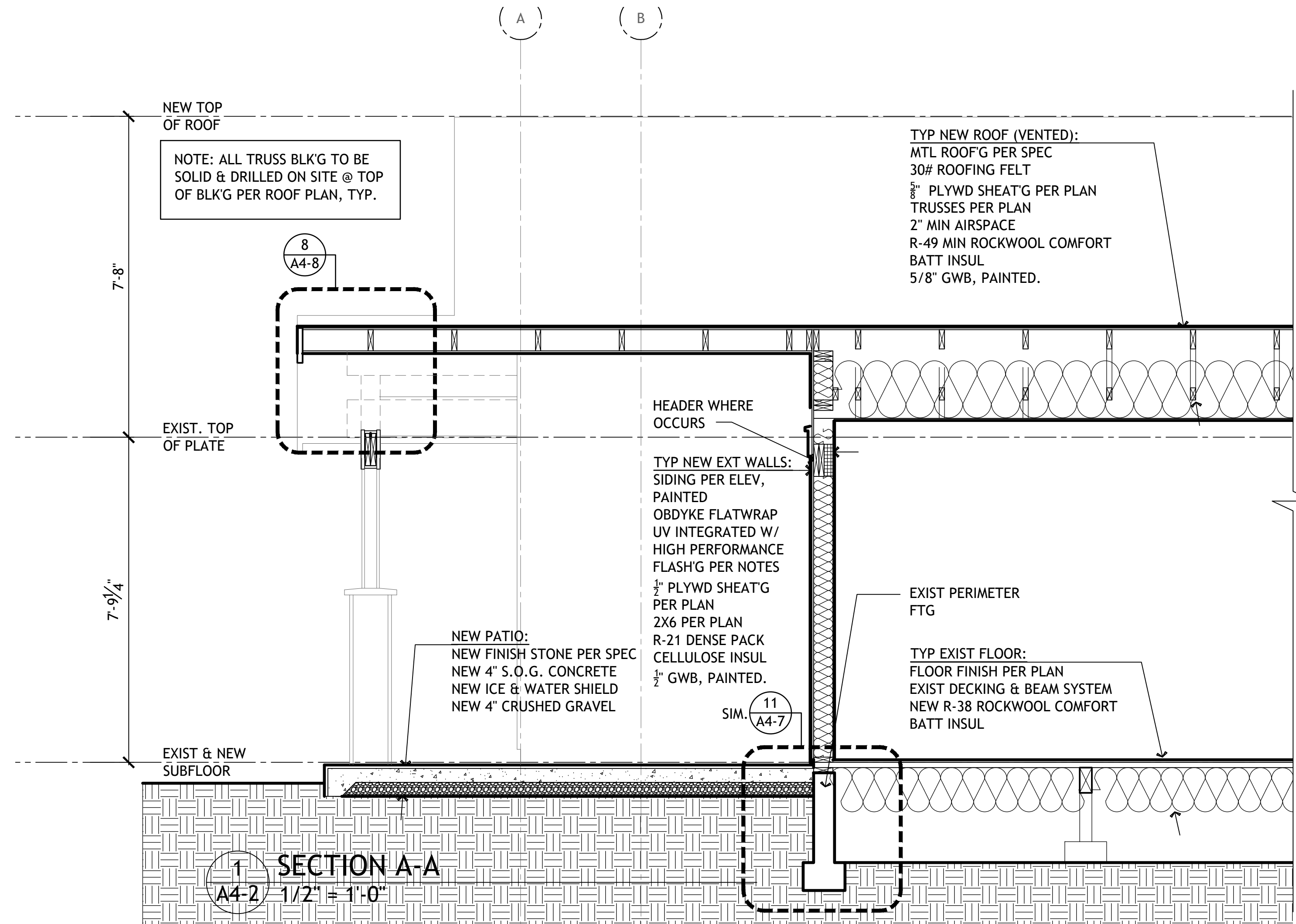


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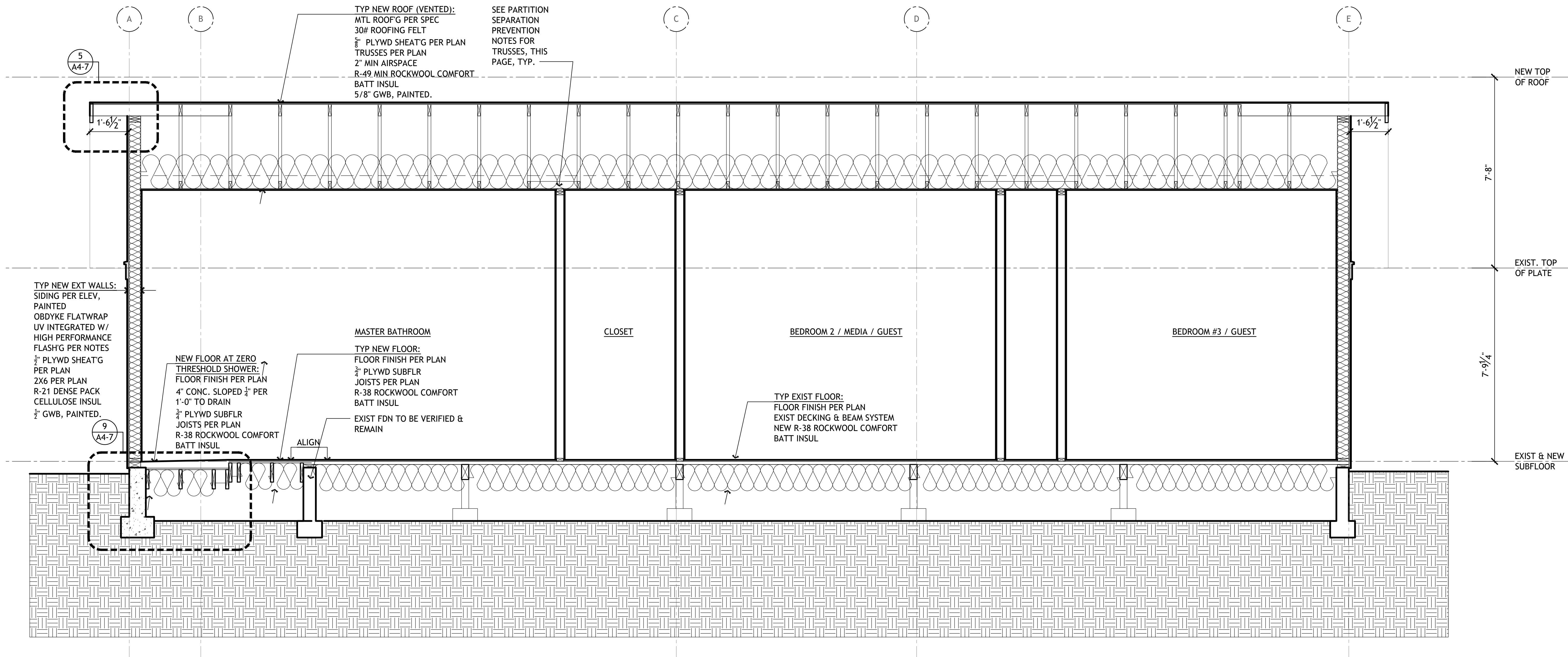
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A4-2



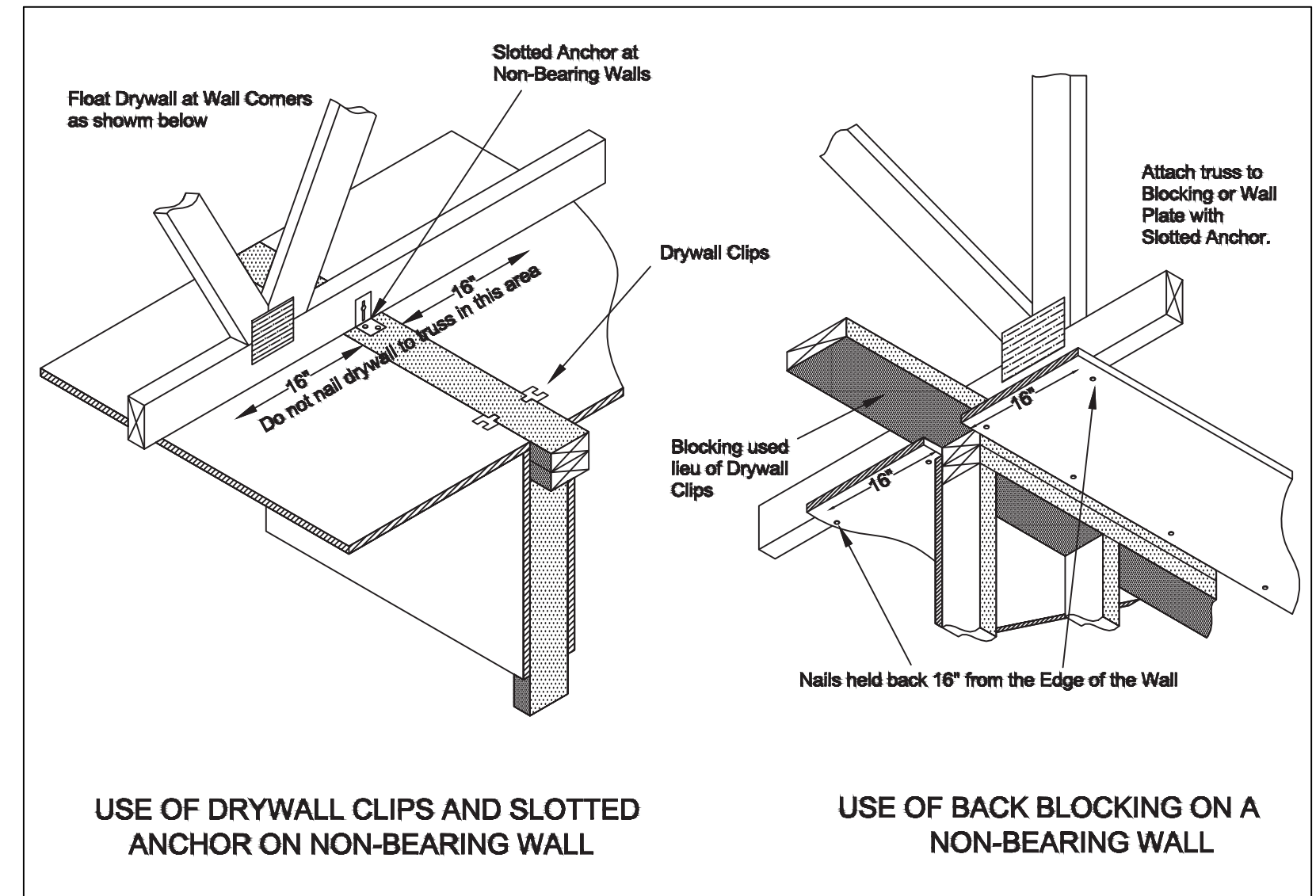
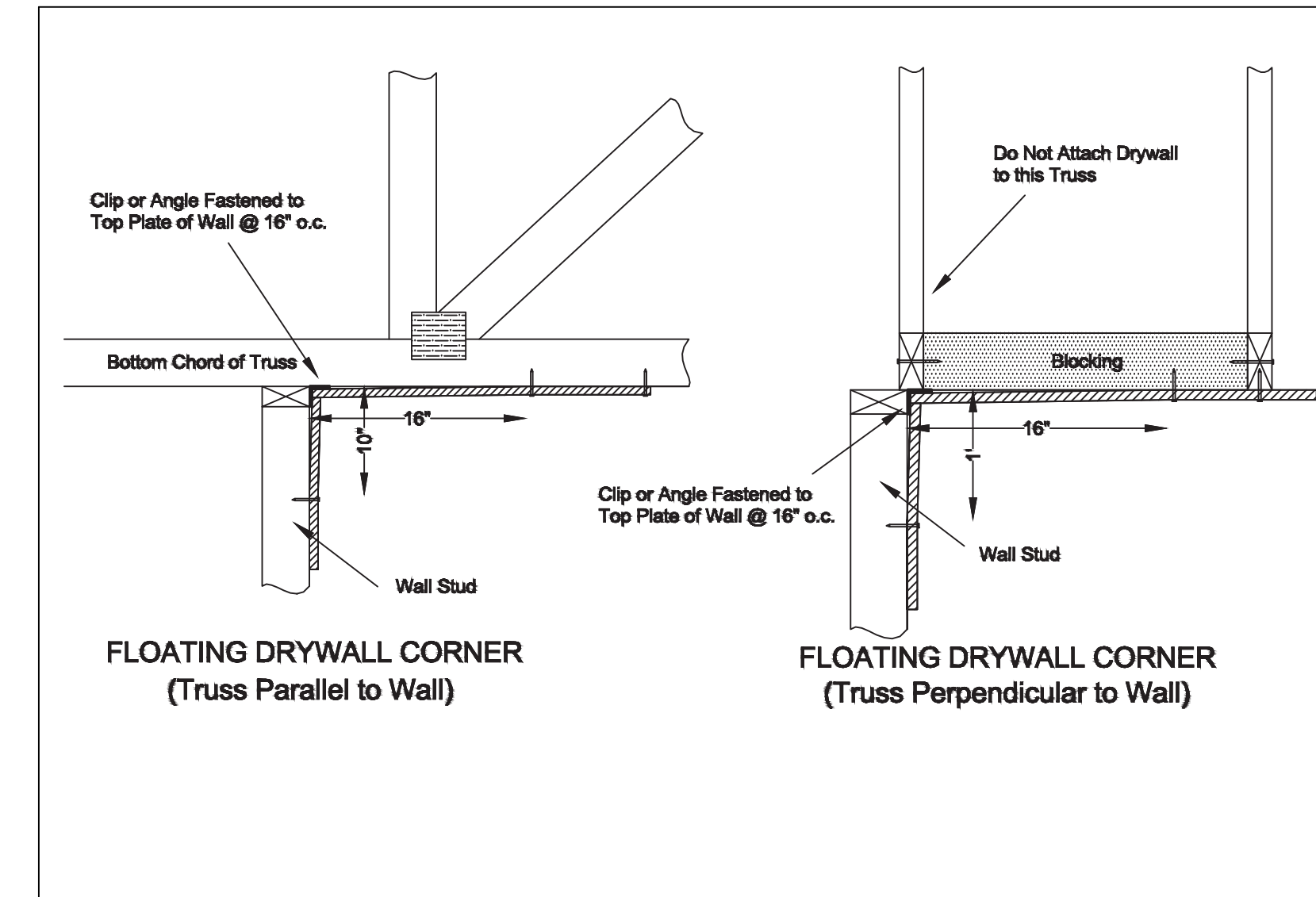
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sections



1 SECTION A-A
A4-3 1/2" = 1'-0"

- TYP. SECTION/ ELEVATION NOTES**
- ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
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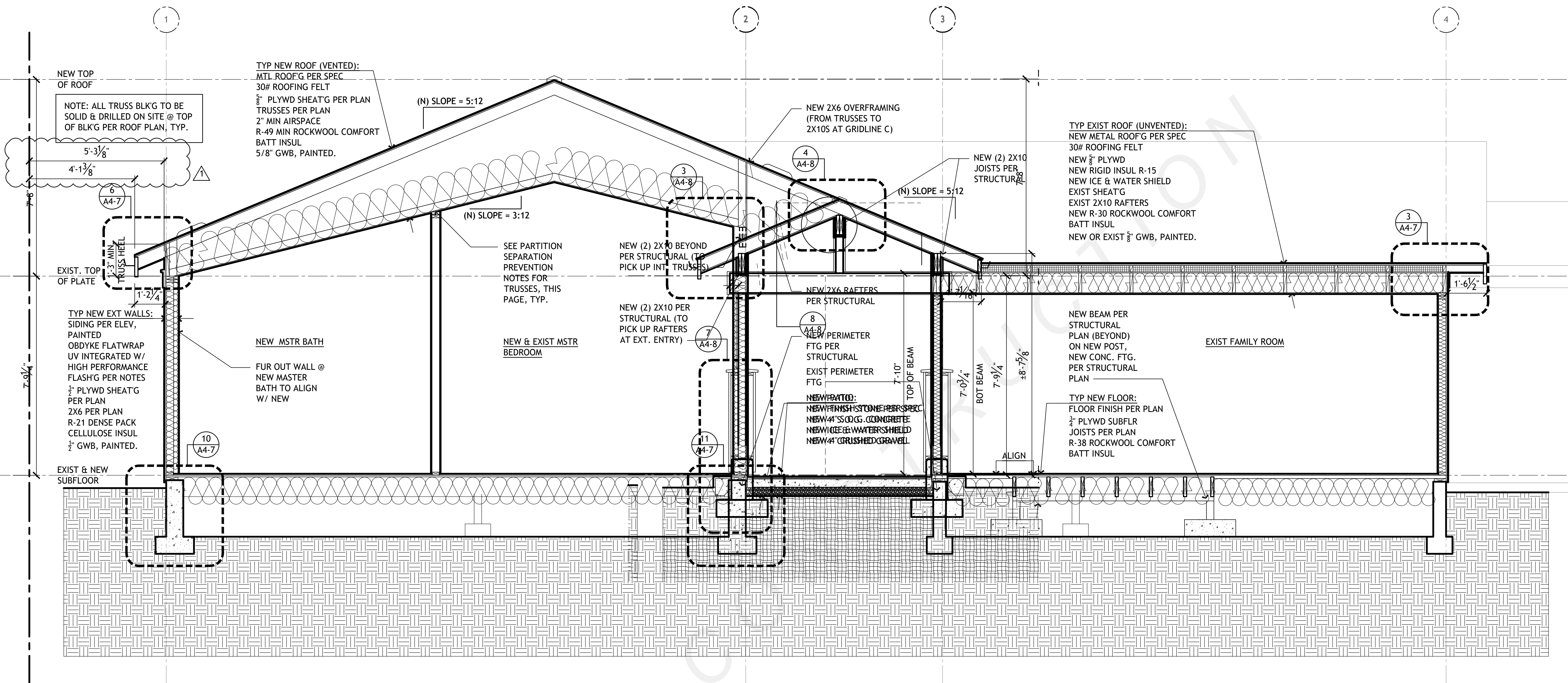
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sections

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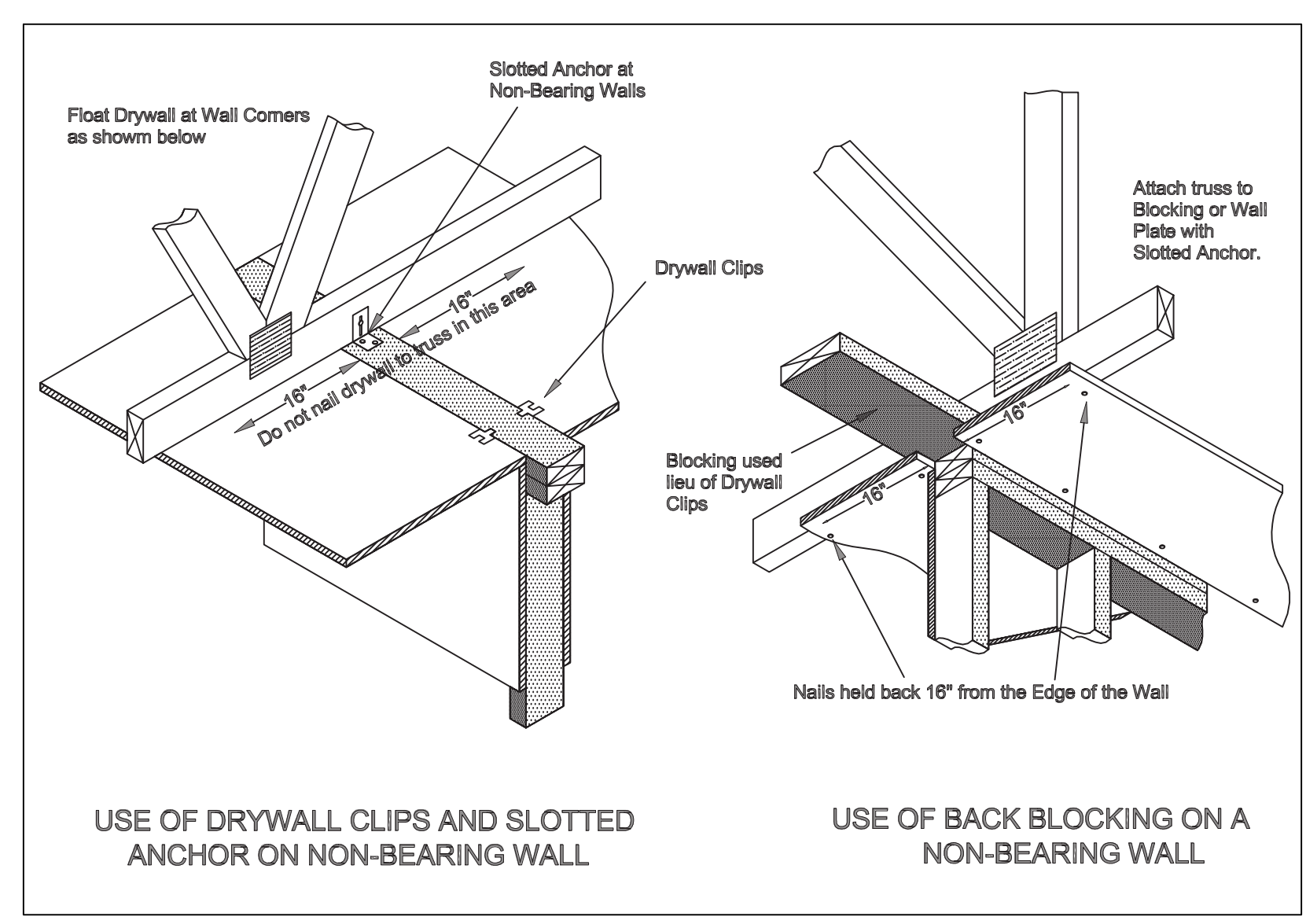
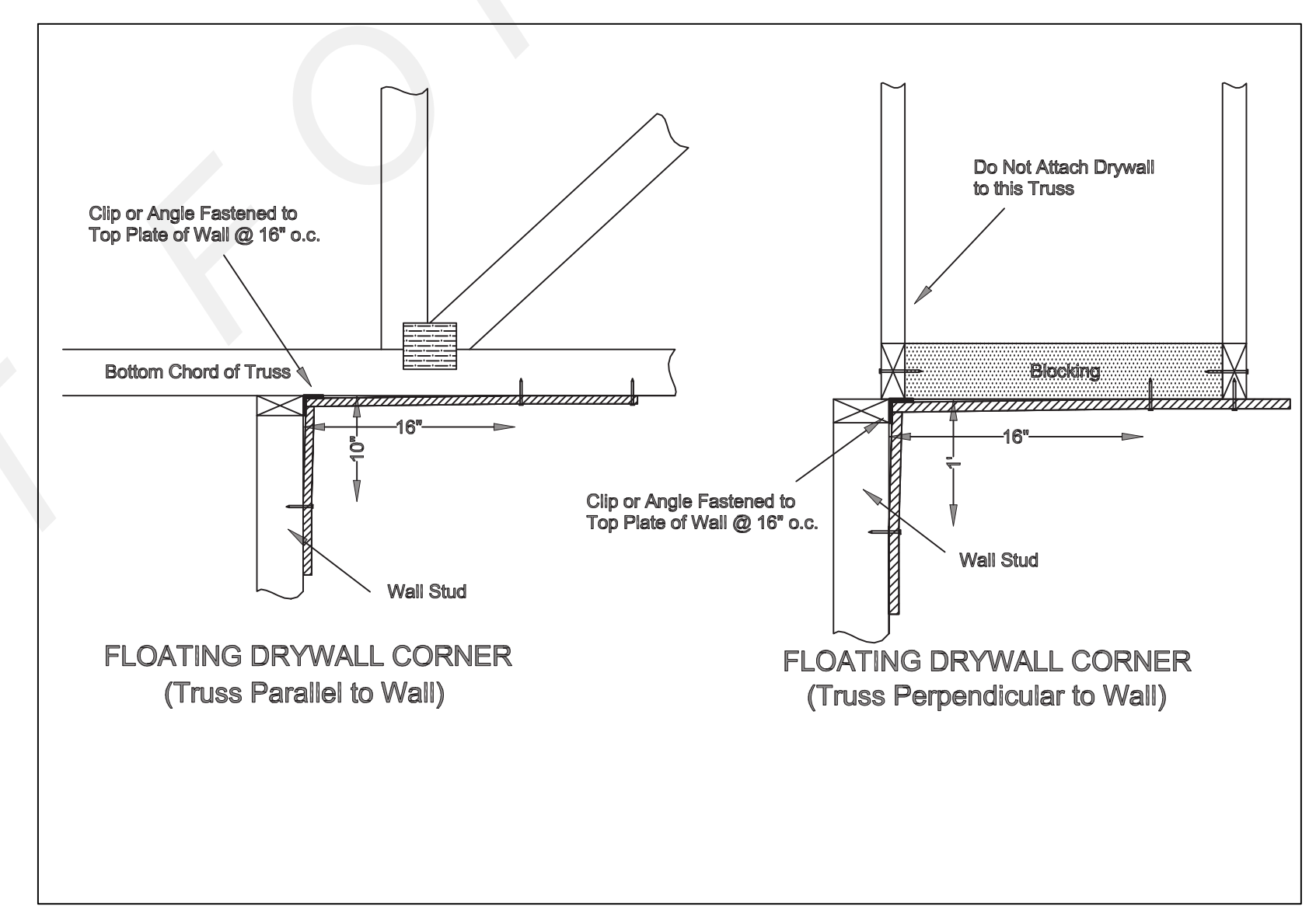
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A4-3



1 SECTION A-A
A4-4 1/2" = 1'-0"

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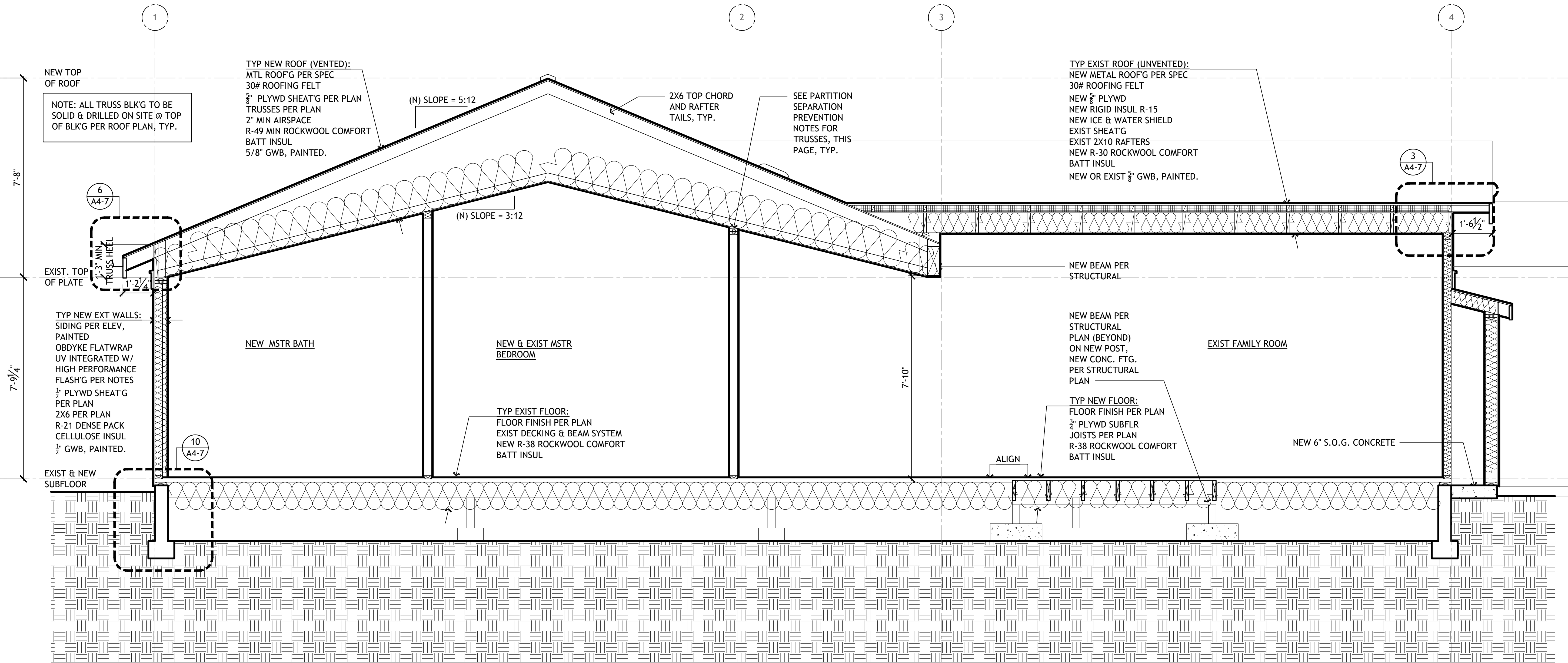
sections

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A4-4

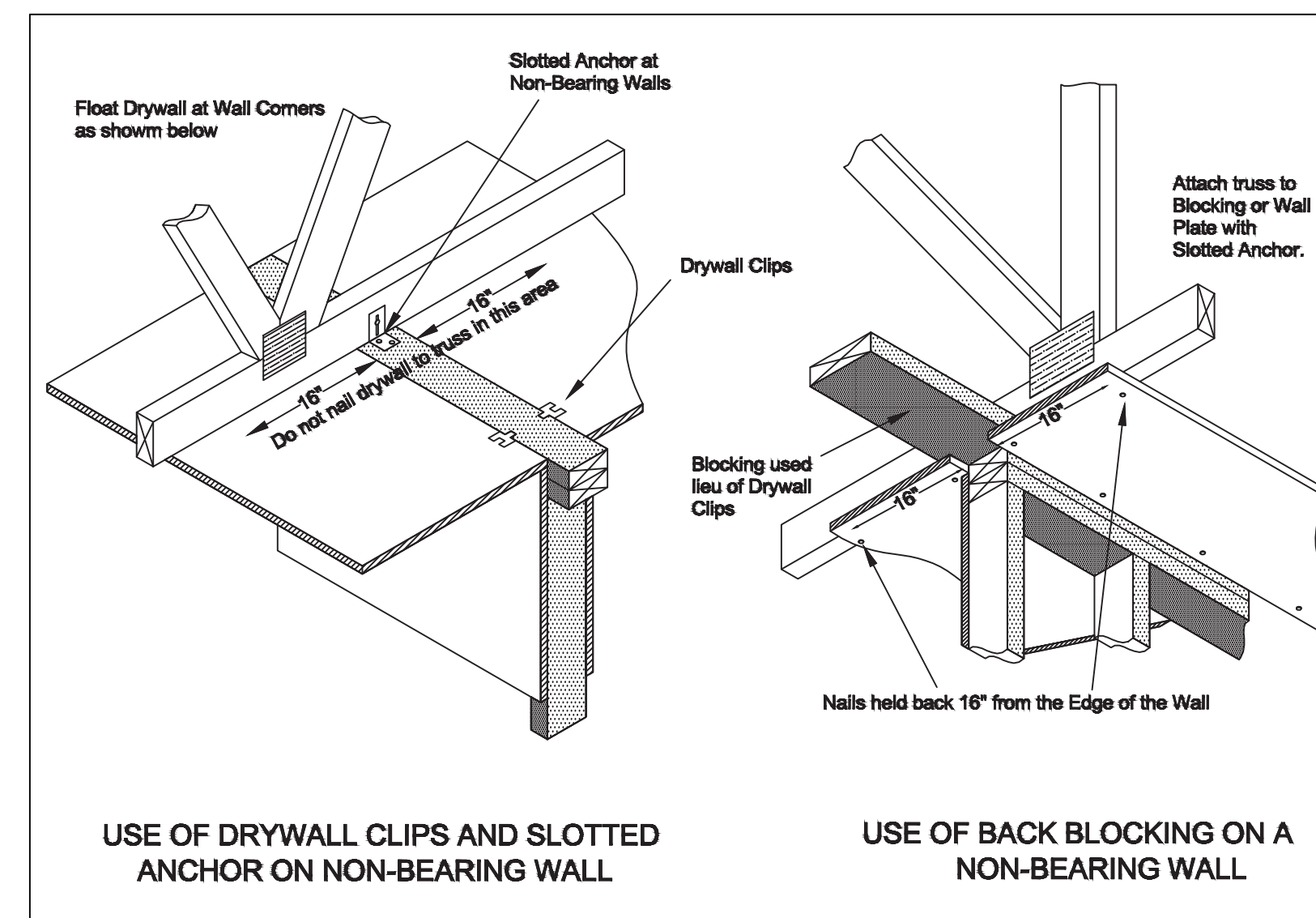
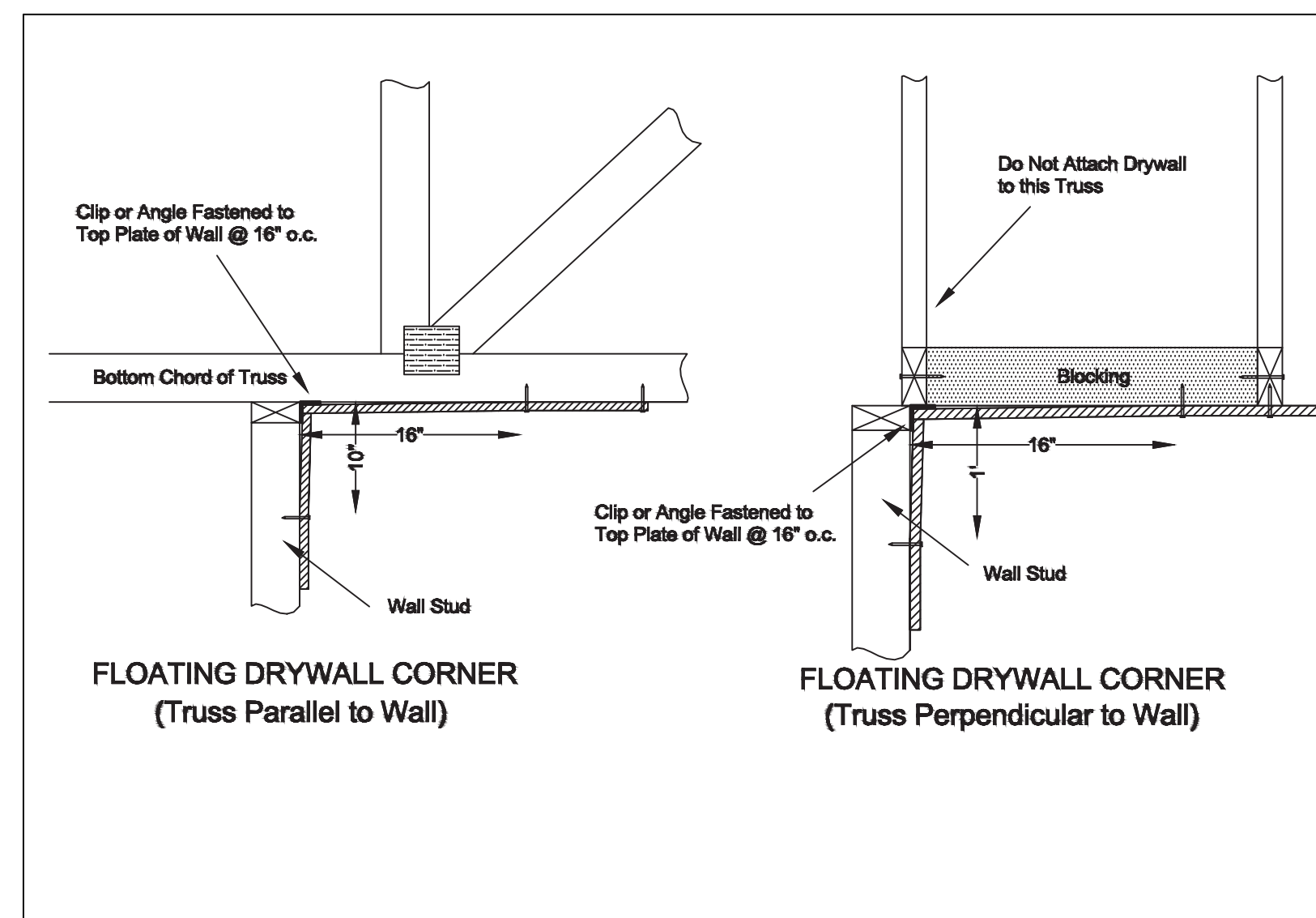
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09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING



1 SECTION A-A
 A4-5 1/2" = 1'-0"

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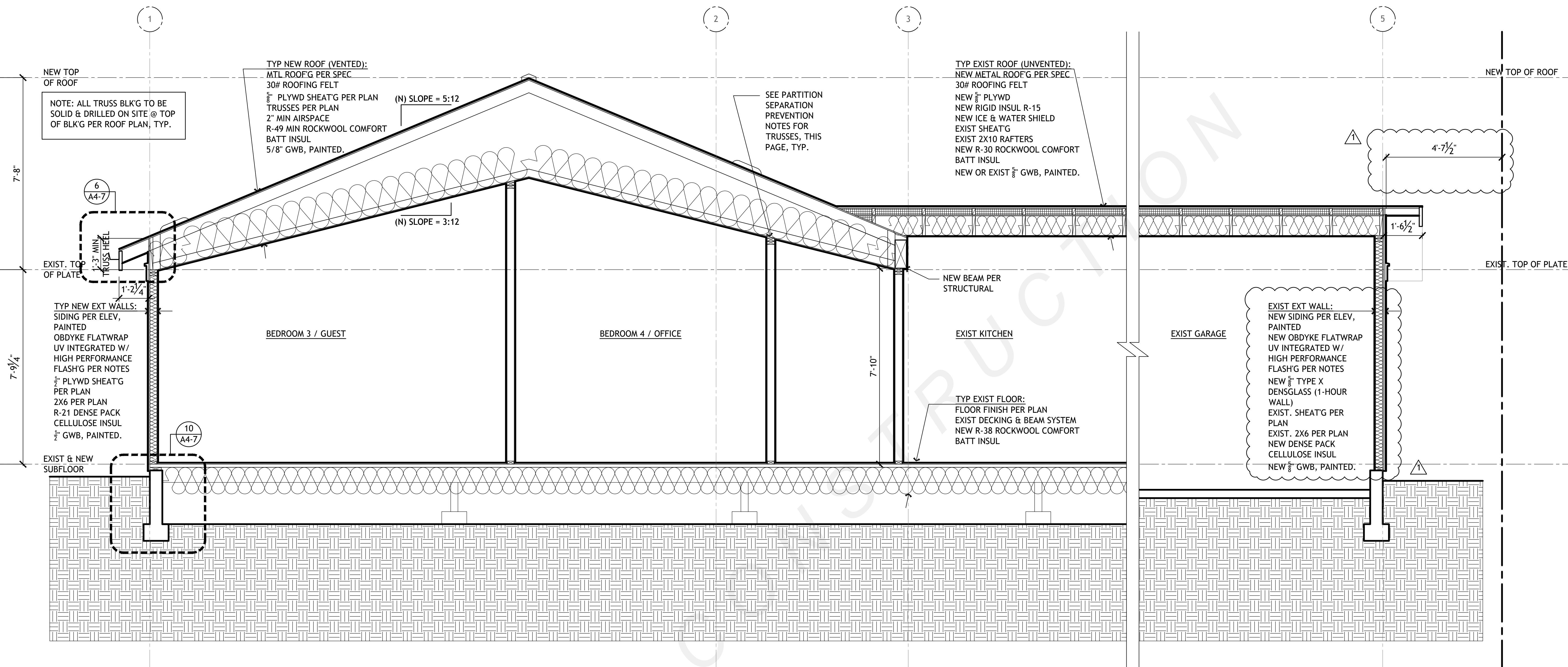
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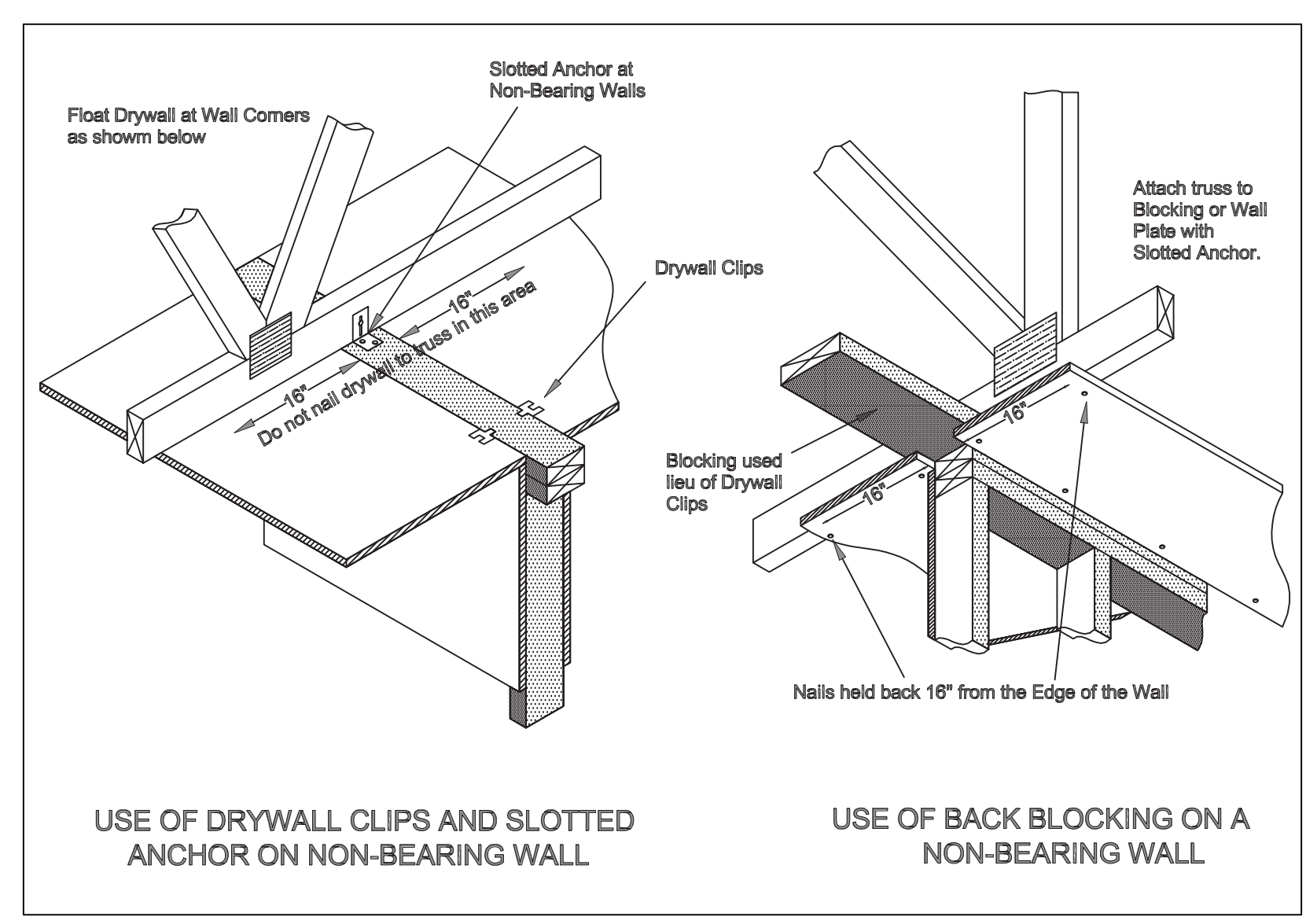
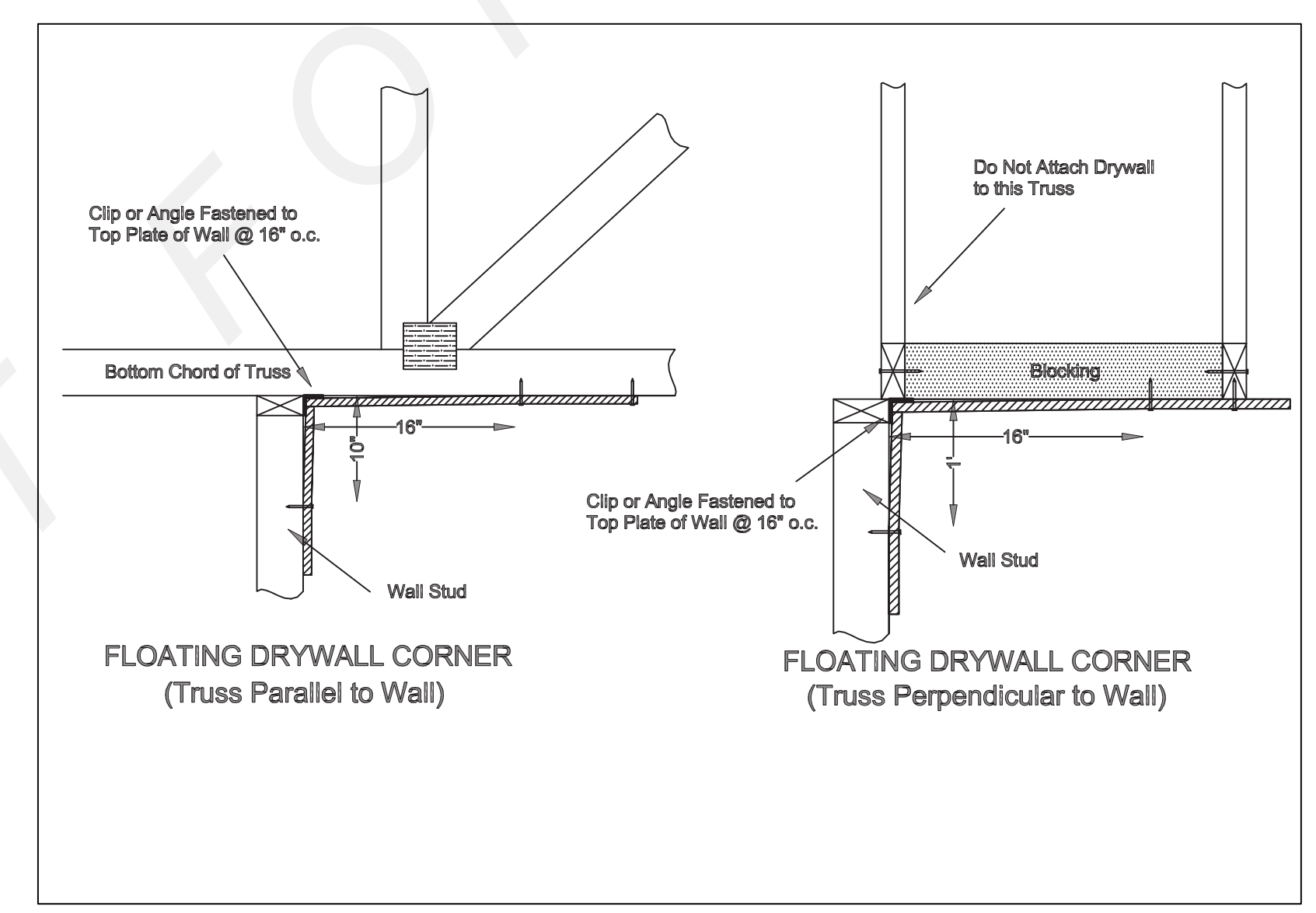
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A4-6

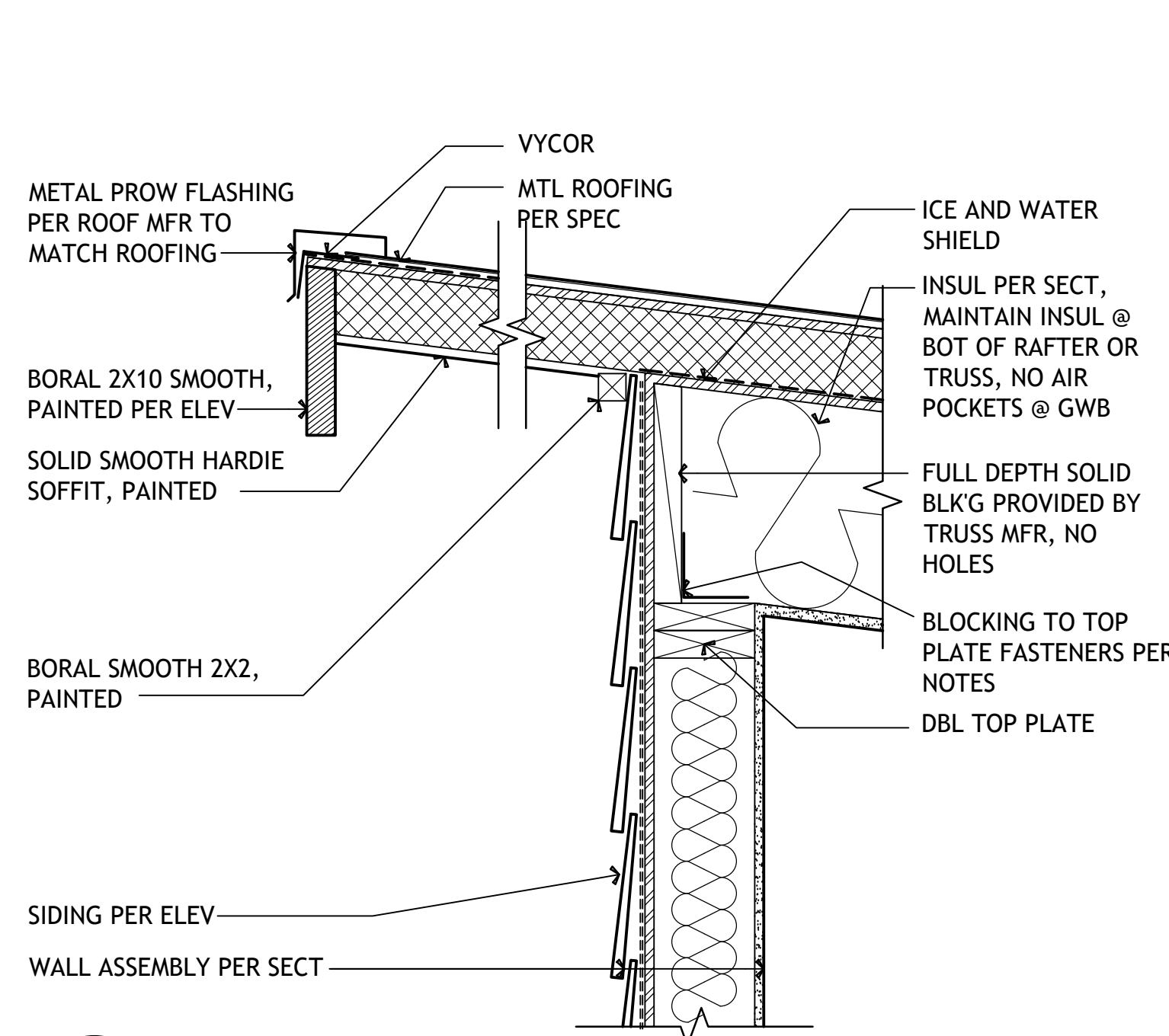


1 SECTION A-A
A4-6 1/2" = 1'-0"

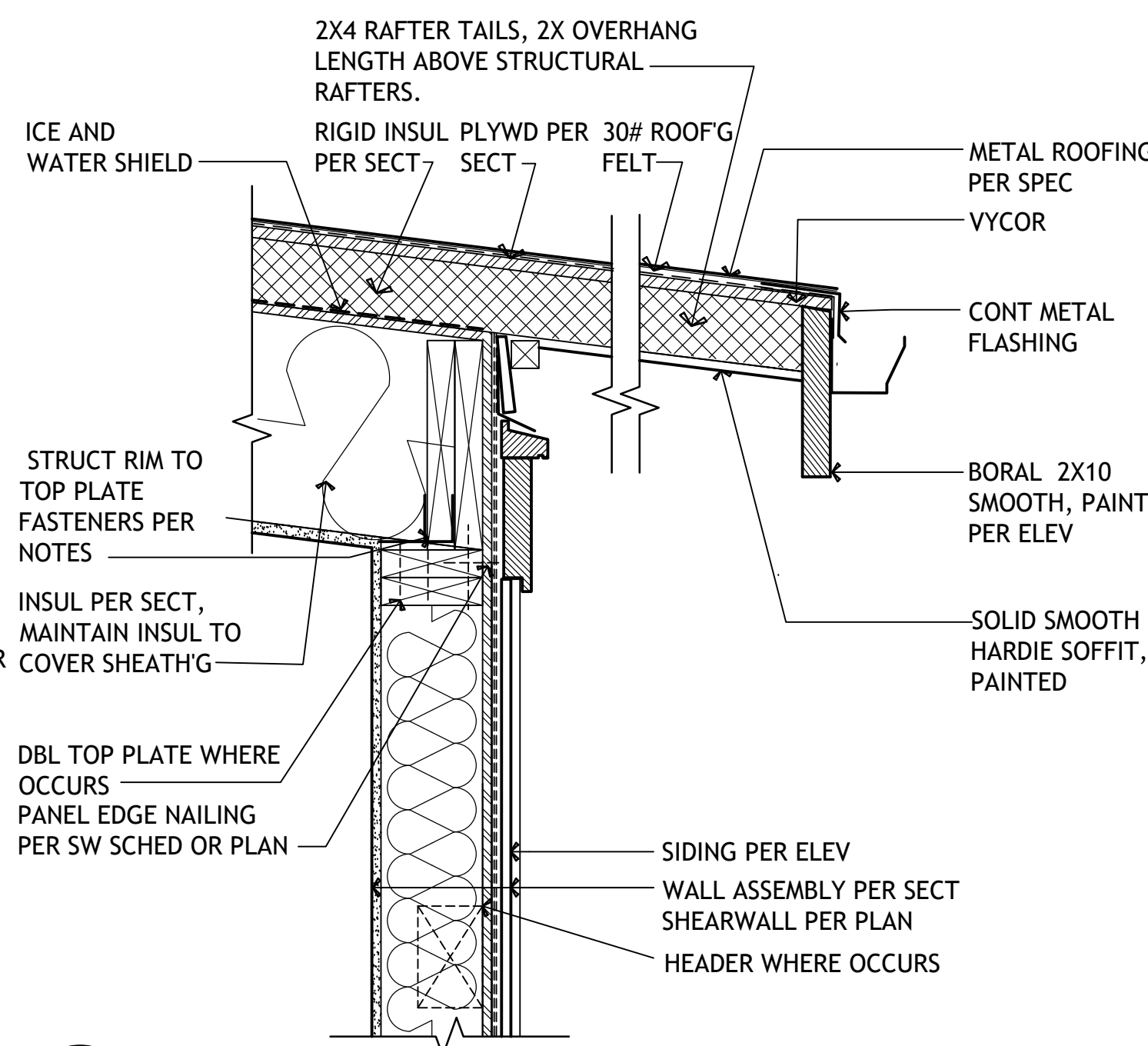
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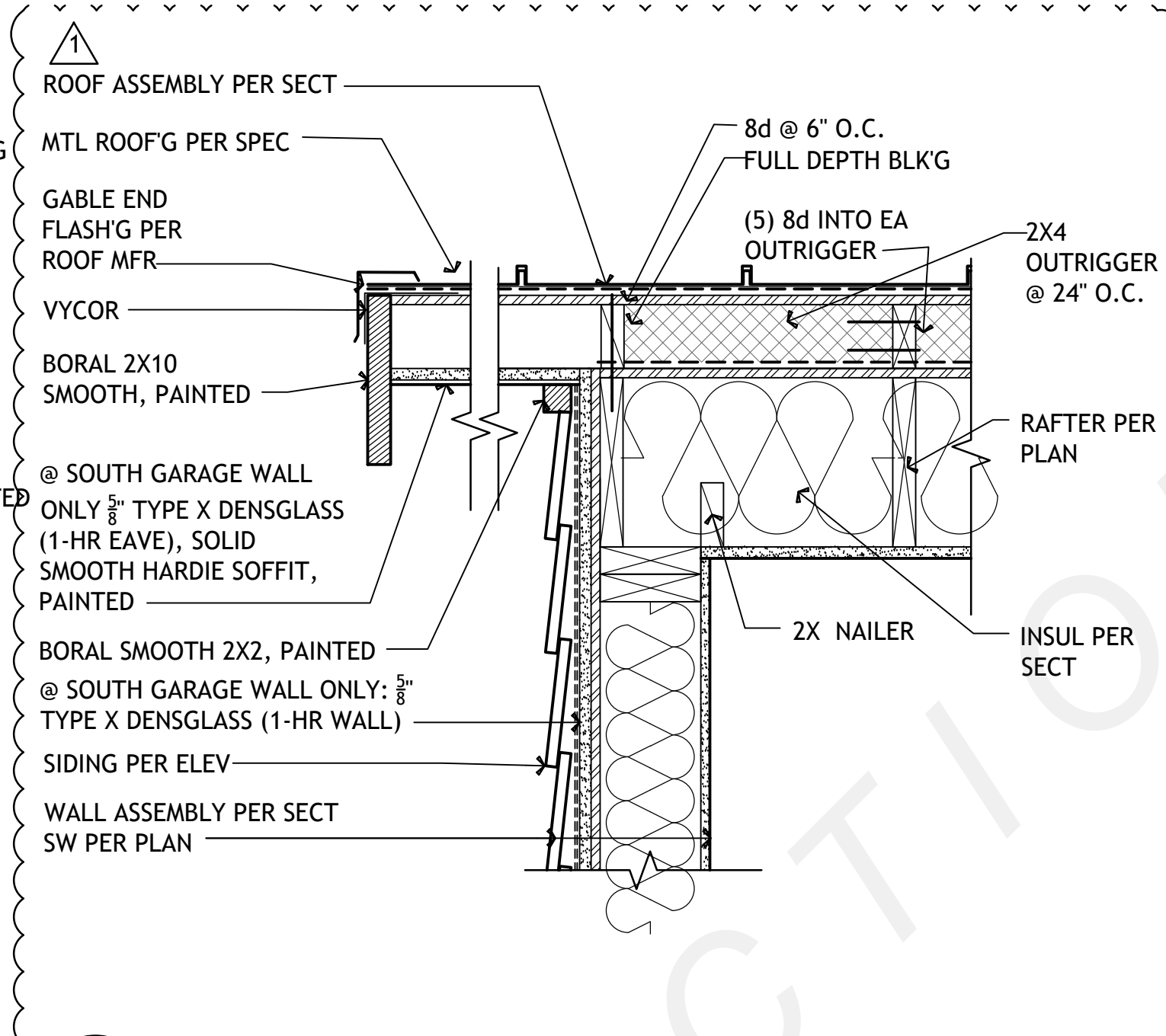
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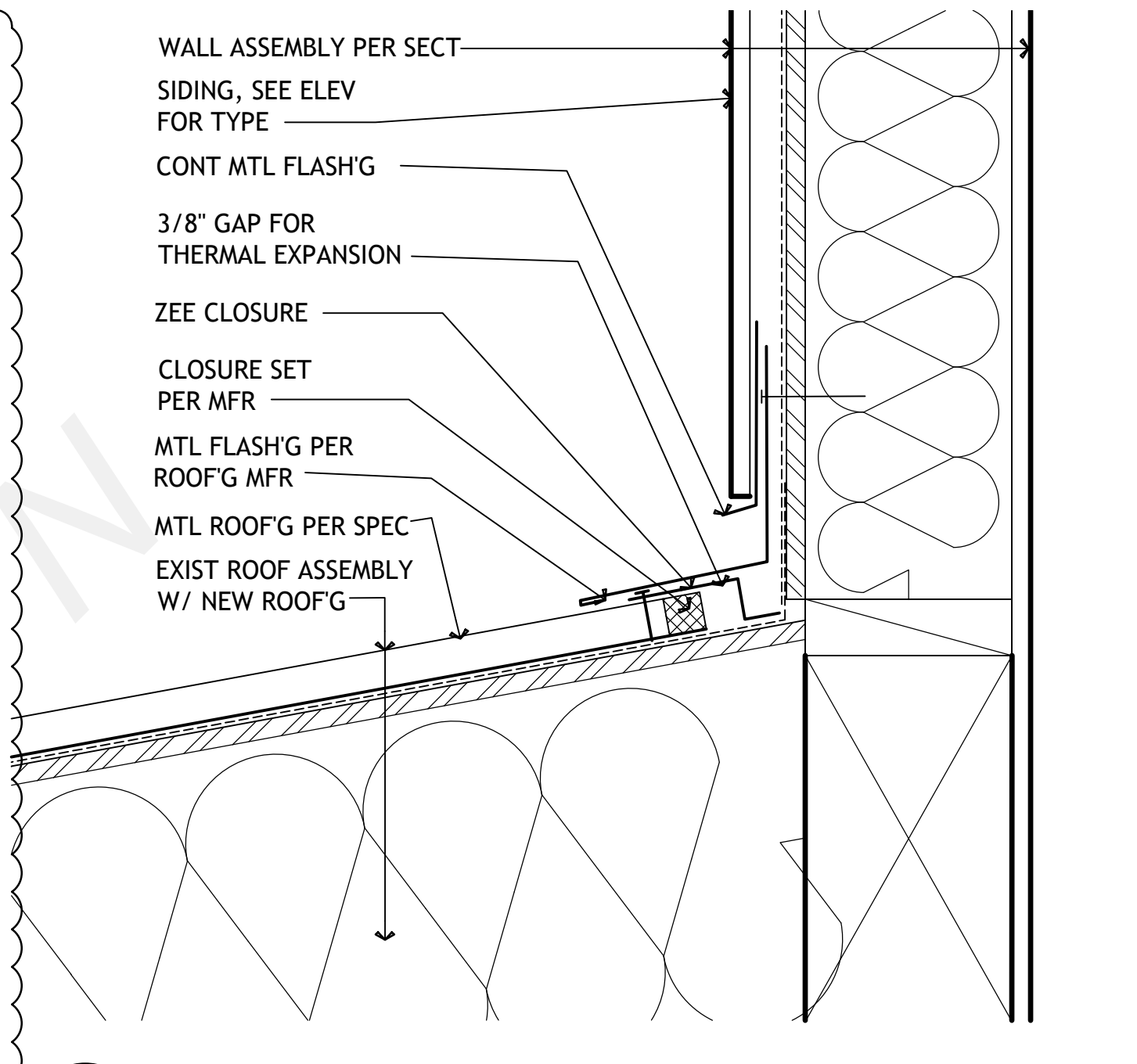
1 EAVE DETAIL @ OVERHANG EXIST SHED ROOF
A4-7 1-1/2" = 1'-0"



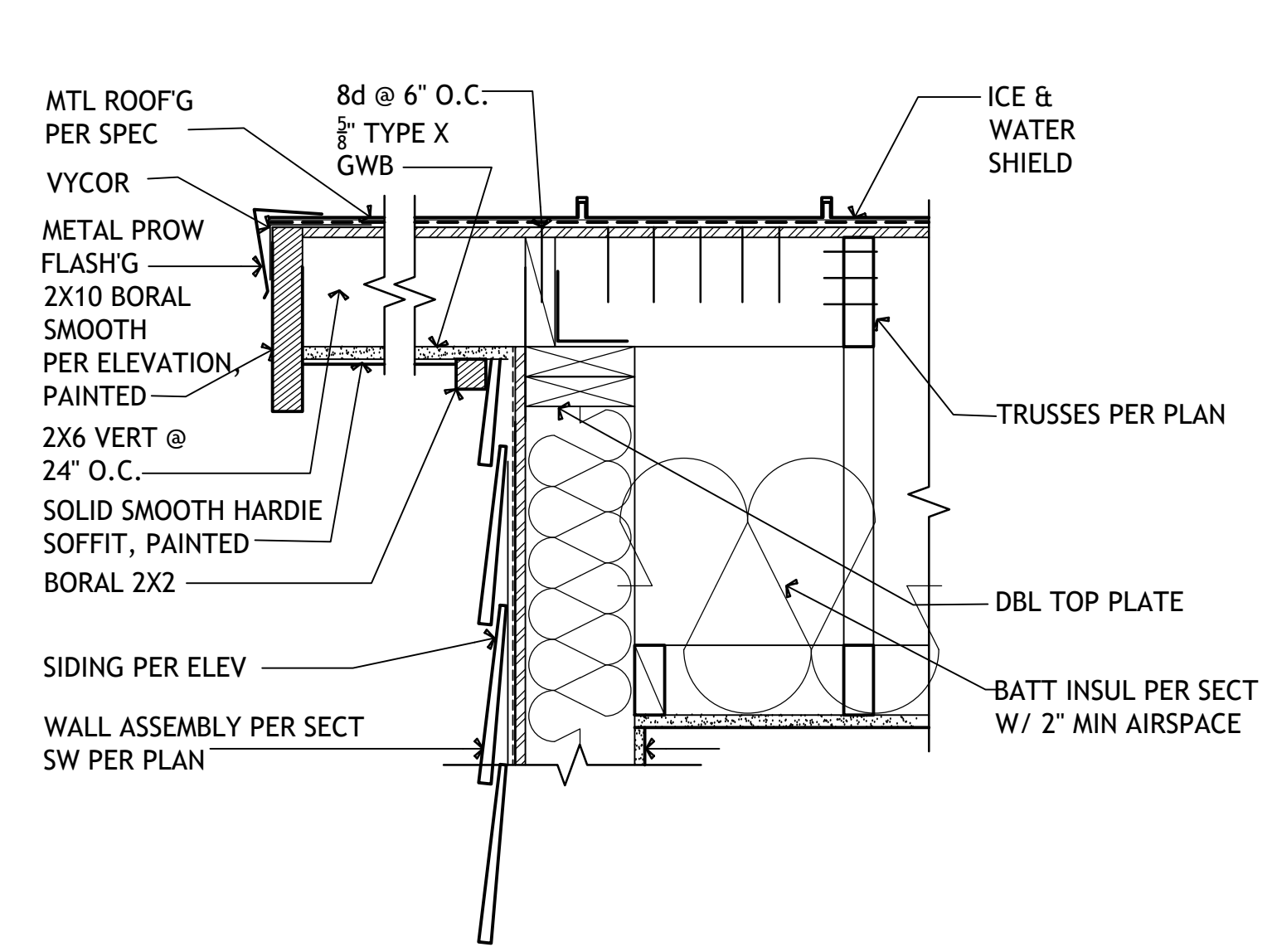
2 EAVE DETAIL @ EXIST ROOF
A4-7 1-1/2" = 1'-0"



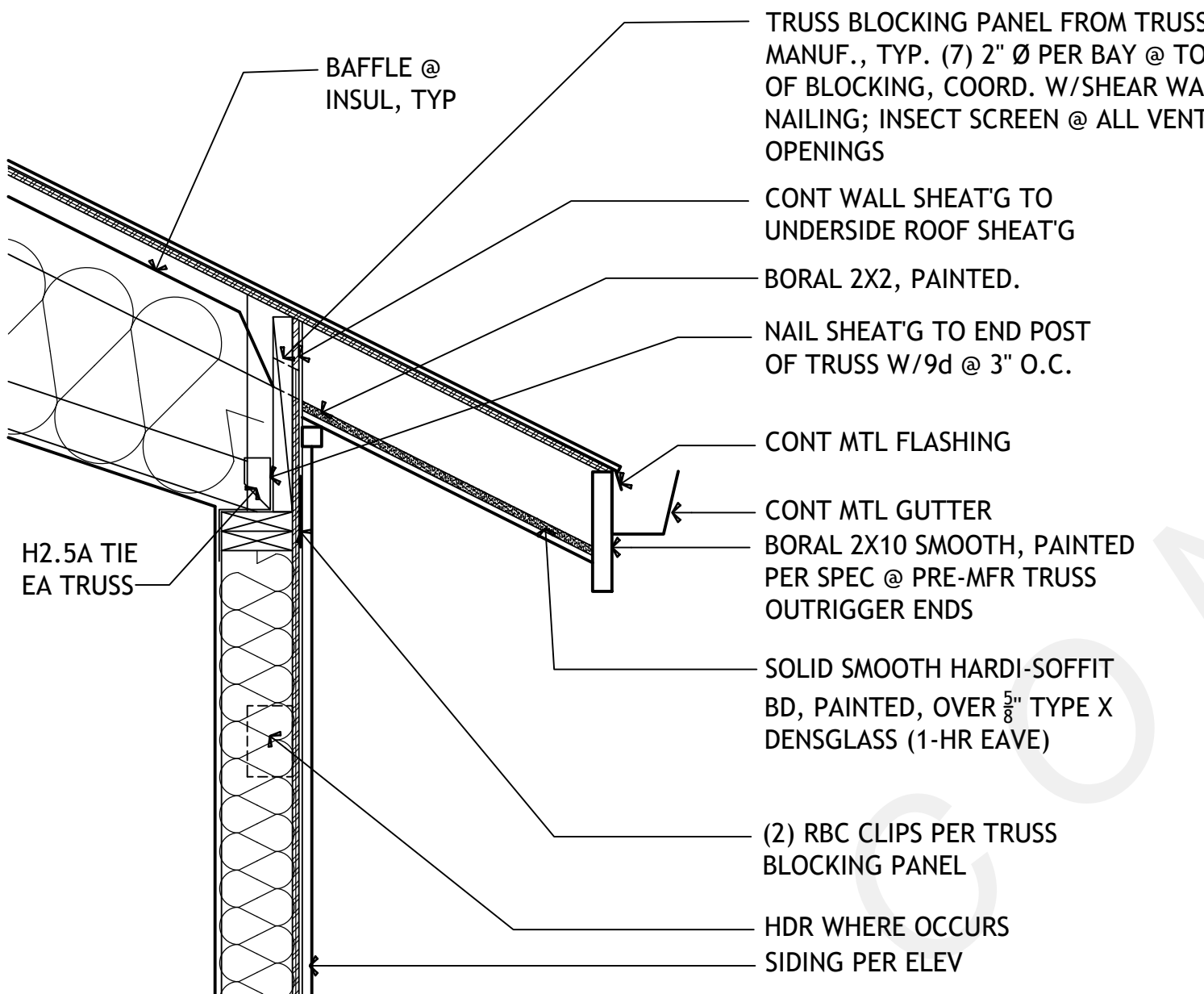
3 UNVENTED GABLE END @ EXIST. ROOF
A4-7 1-1/2" = 1'-0"



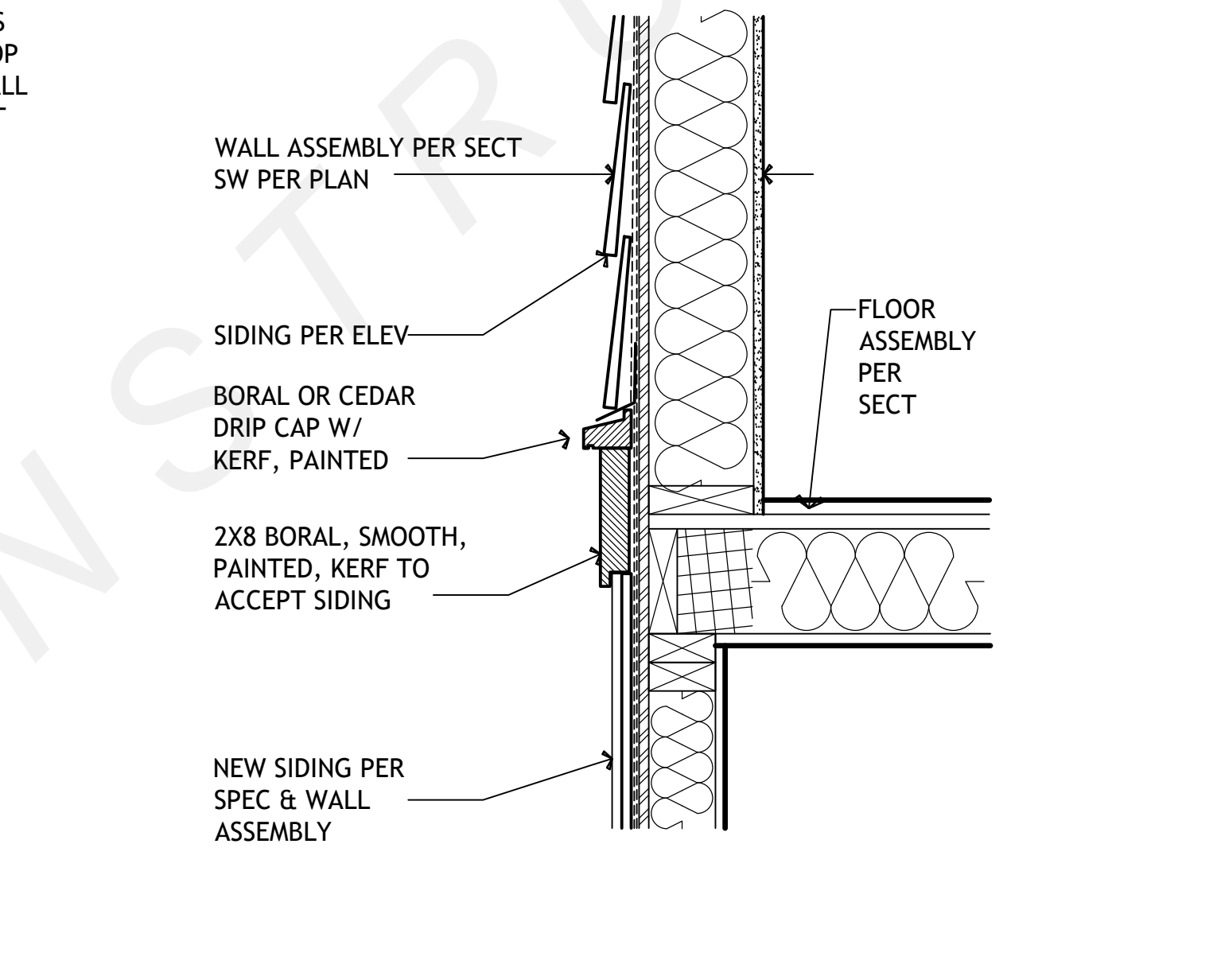
4 ROOF TO WALL TRANSITION
A4-7 3" = 1'-0"



5 GABLE END @ TRUSSES
A4-7 1-1/2" = 1'-0"



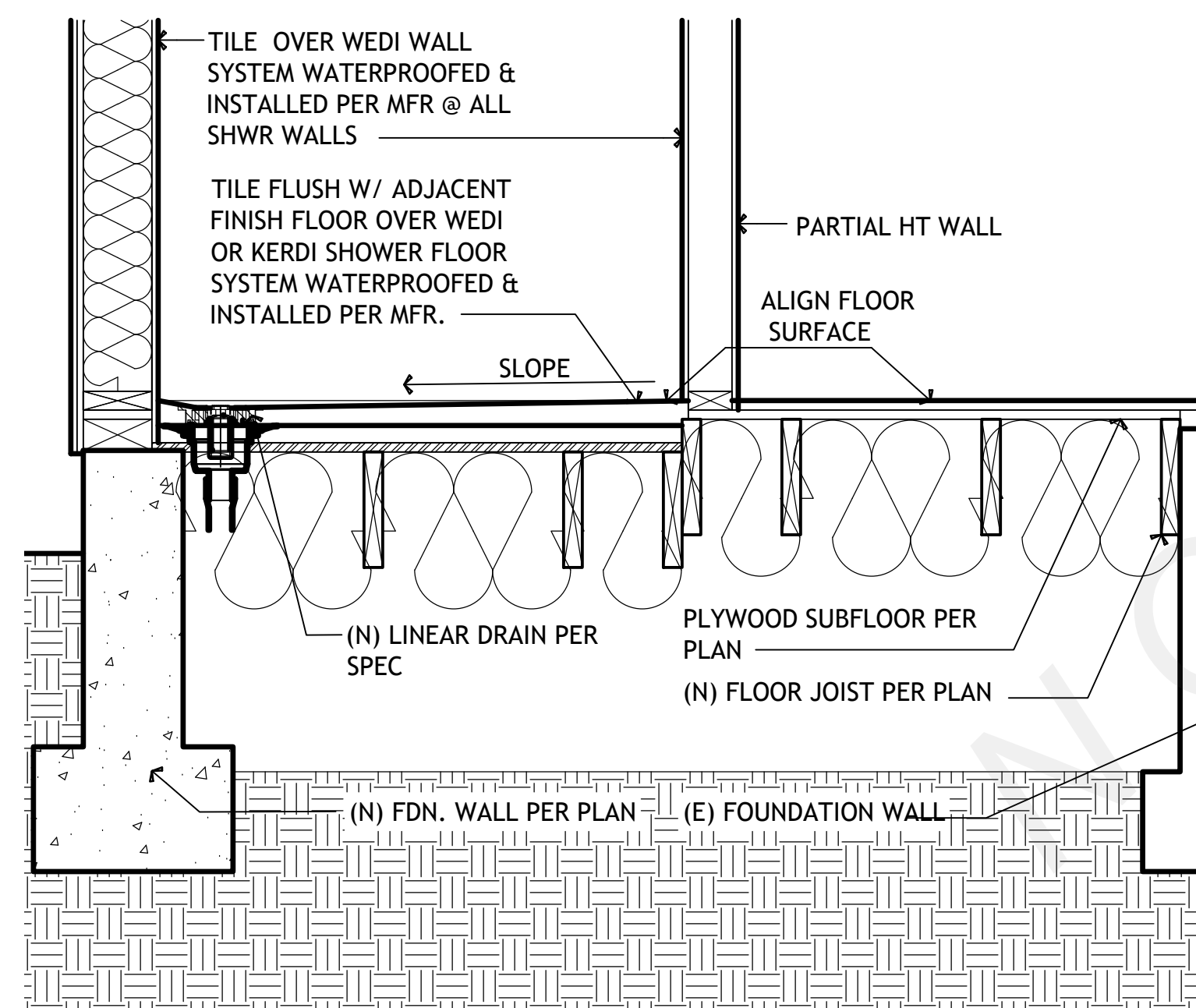
6 EAVE DETAIL @ TRUSSES
A4-7 1" = 1'-0"



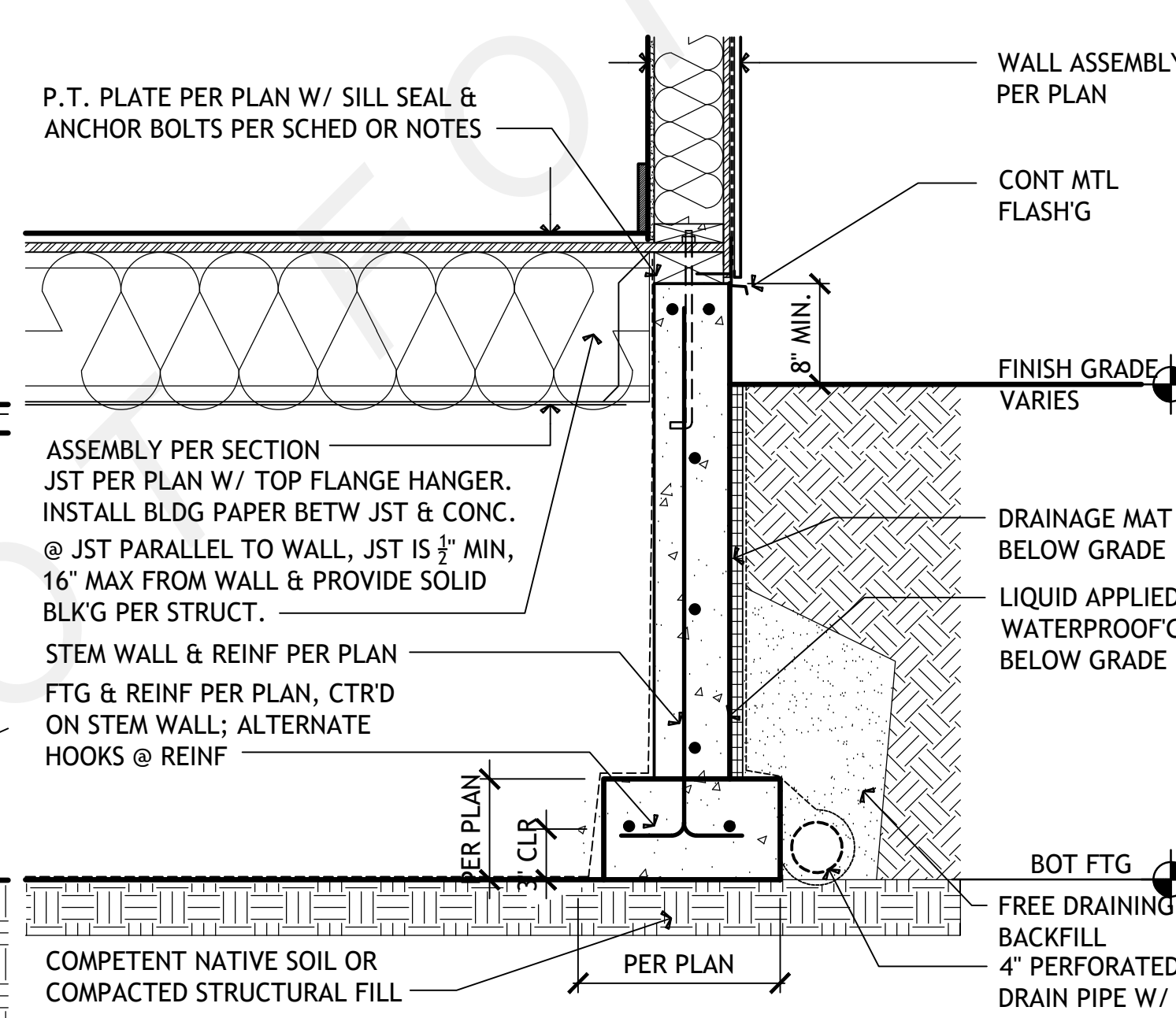
7 DRIP CAP DETAIL
A4-7 1-1/2" = 1'-0"



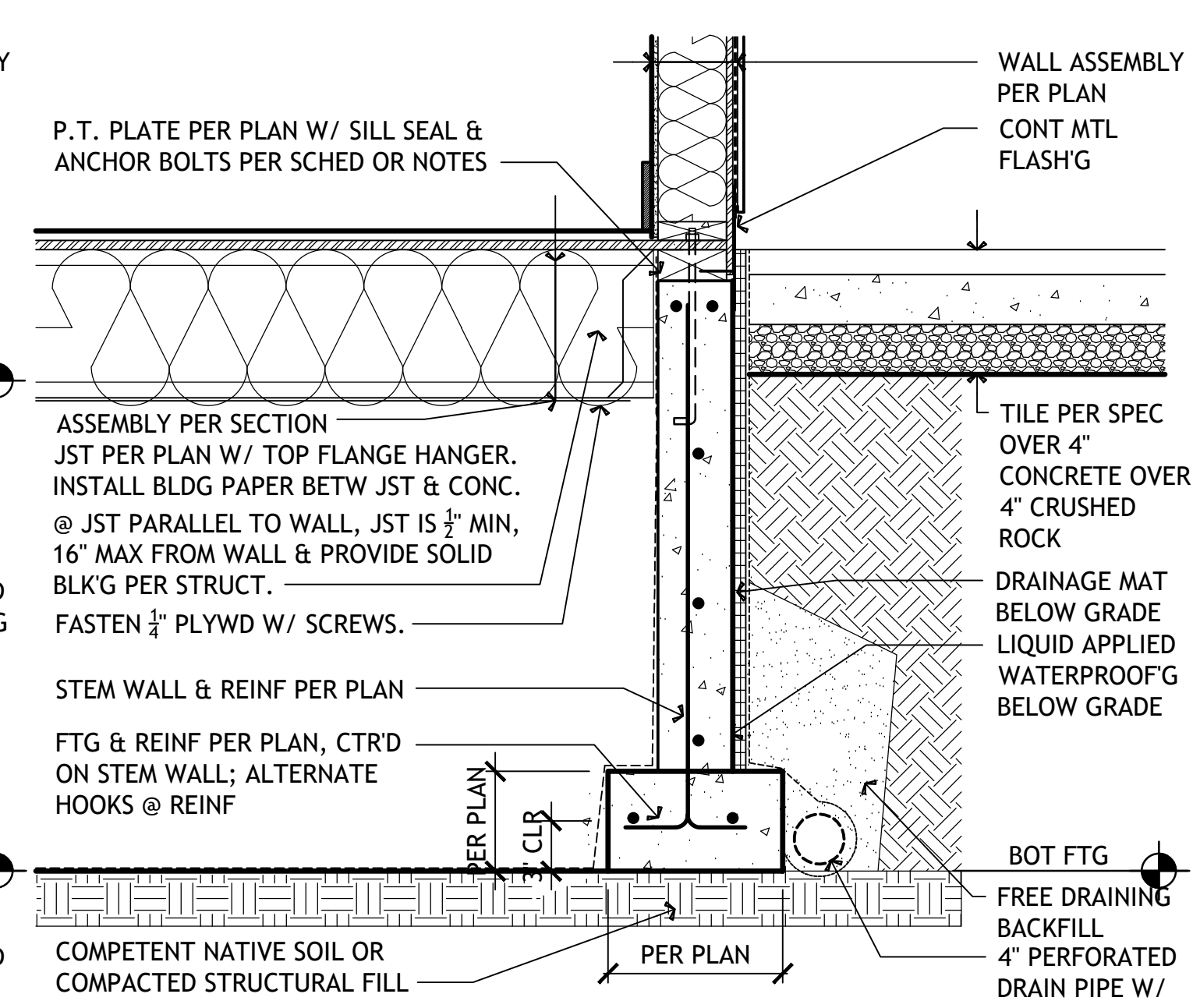
8 --
A4-7 1-1/2" = 1'-0"



9 ZERO THRESHOLD SHOWER DETAIL
A4-7 1" = 1'-0"



10 TYPICAL NEW FOUNDATION DETAIL
A4-7 1" = 1'-0"



11 NEW FOUNDATION @ PATIO
A4-7 1" = 1'-0"



12 --
A4-7 1-1/2" = 1'-0"

9077 REGISTERED ARCHITECT
SHERI LYNN NEWBOLD
STATE OF WASHINGTON

live work play
sustainable architecture interior design

live-work-play
9231 Evanston Avenue N
Seattle WA 98103

206 726 0077
sheri@live-work-play.net
live-work-play.net

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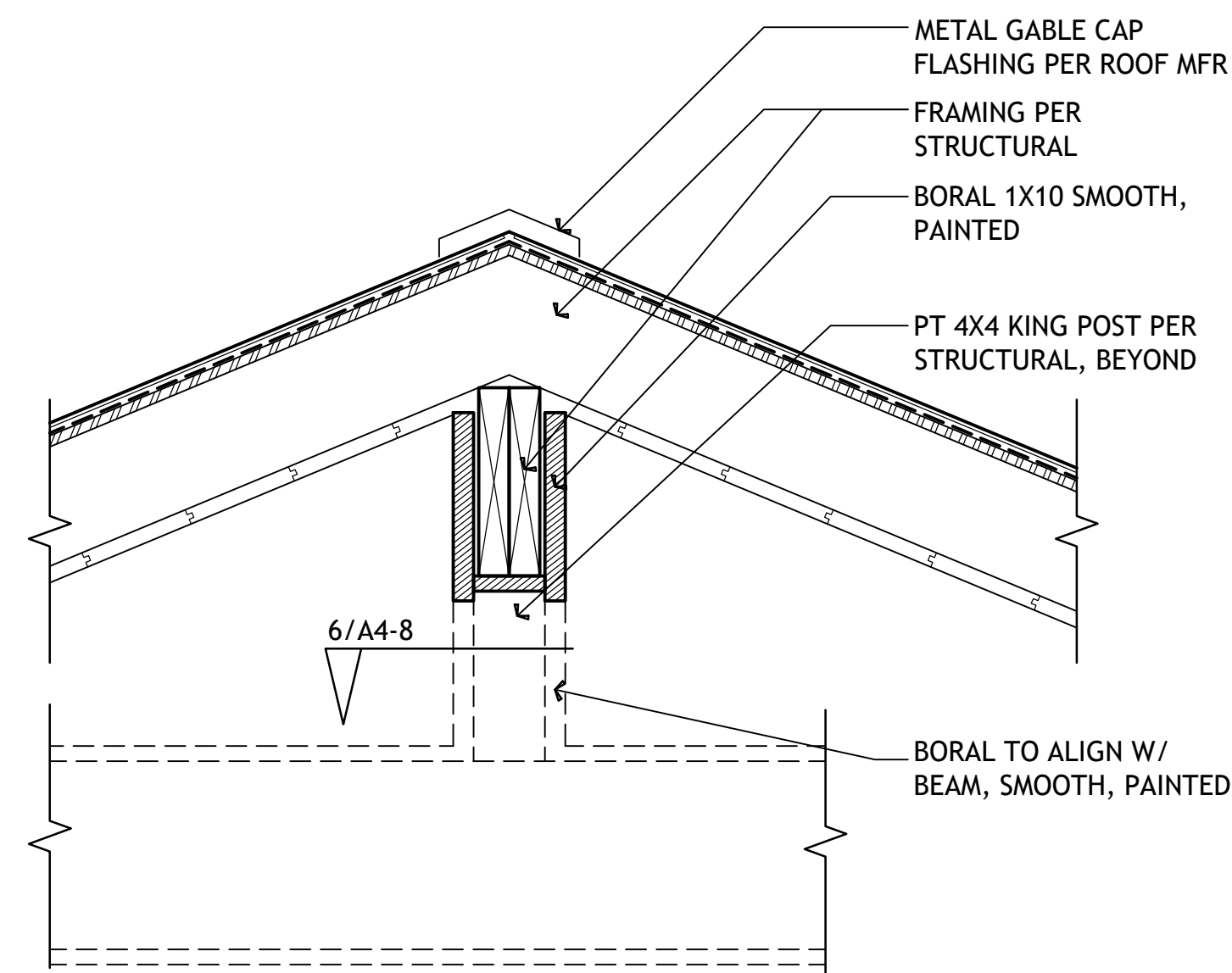
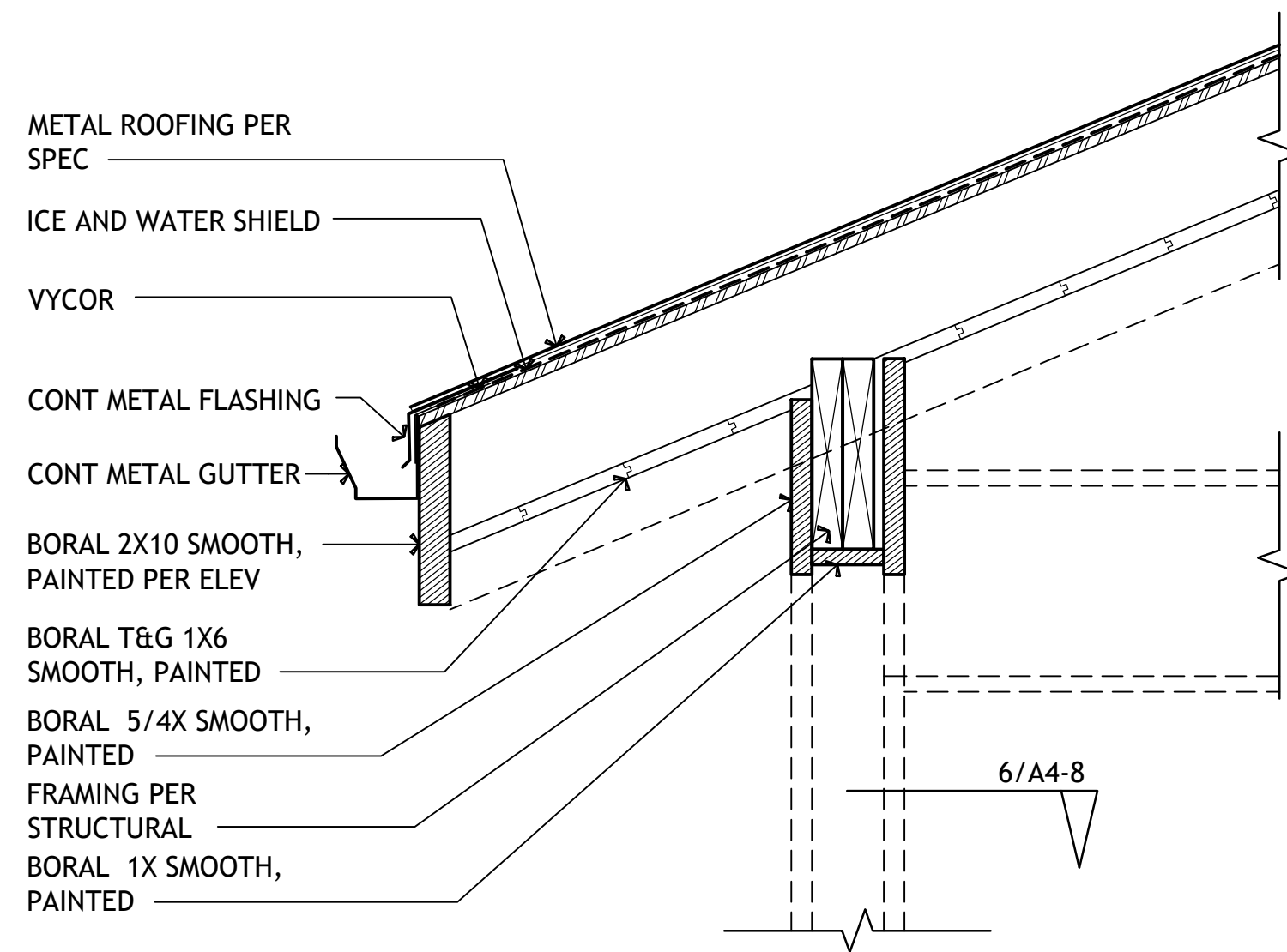
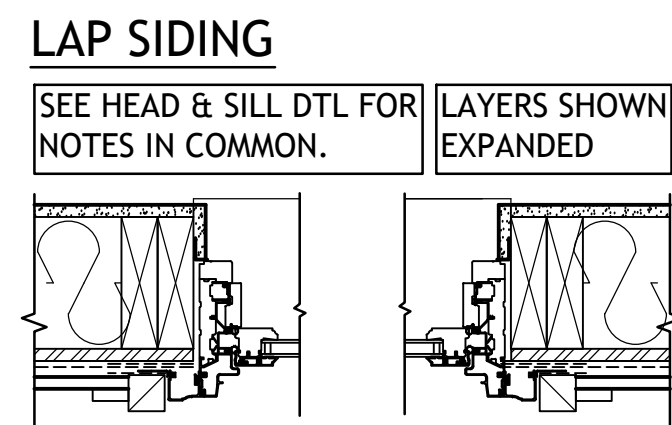
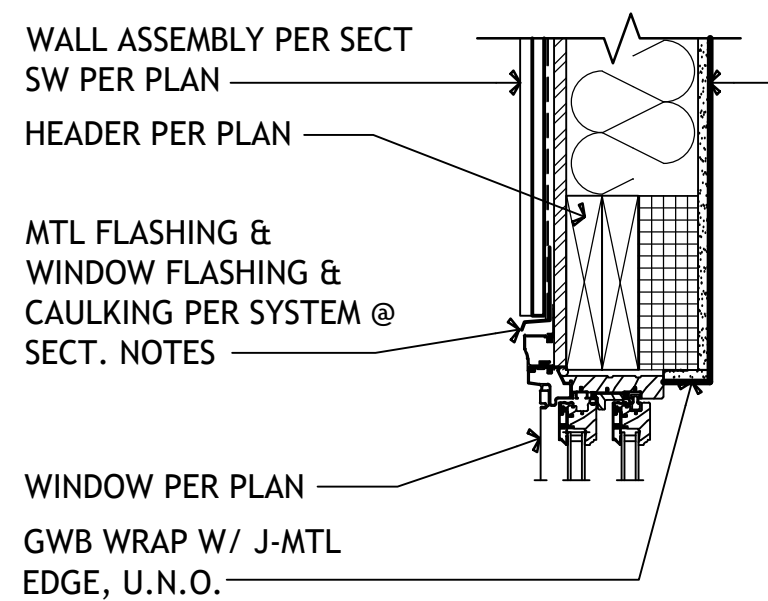
whitney-gedeon residence
4219 91st avenue SE mercer island, wa 98040

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A4-7

19 NOVEMBER 2019

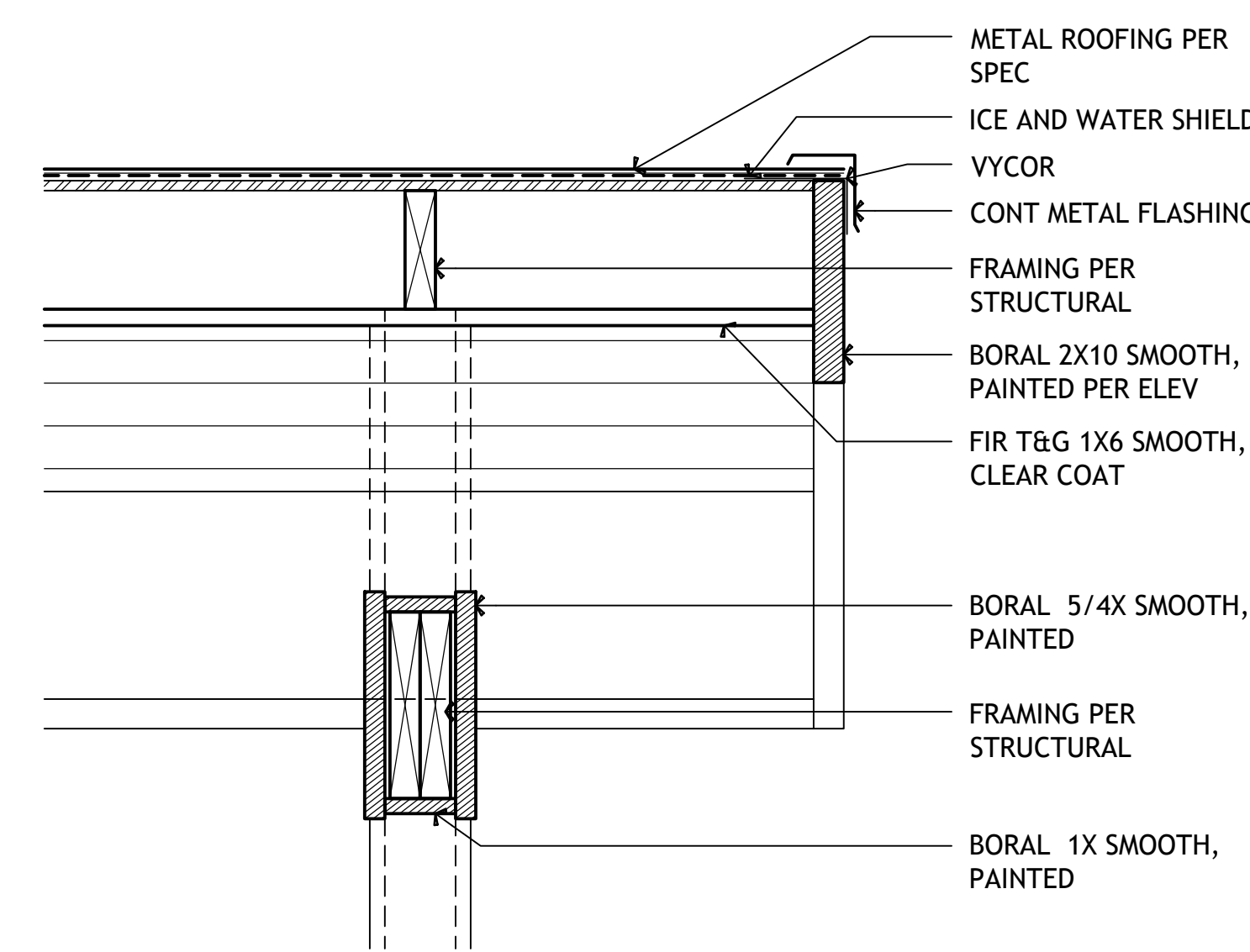
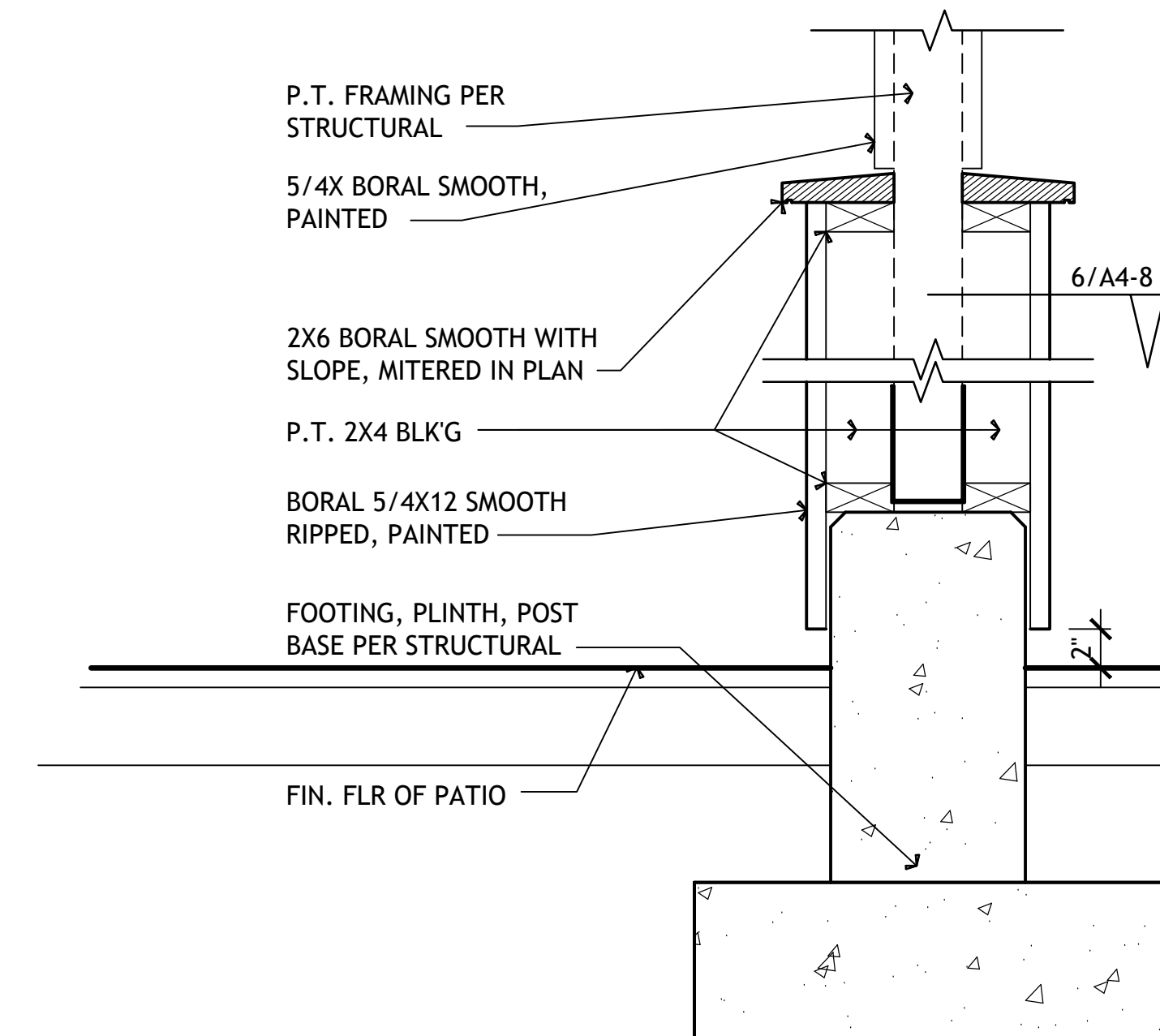
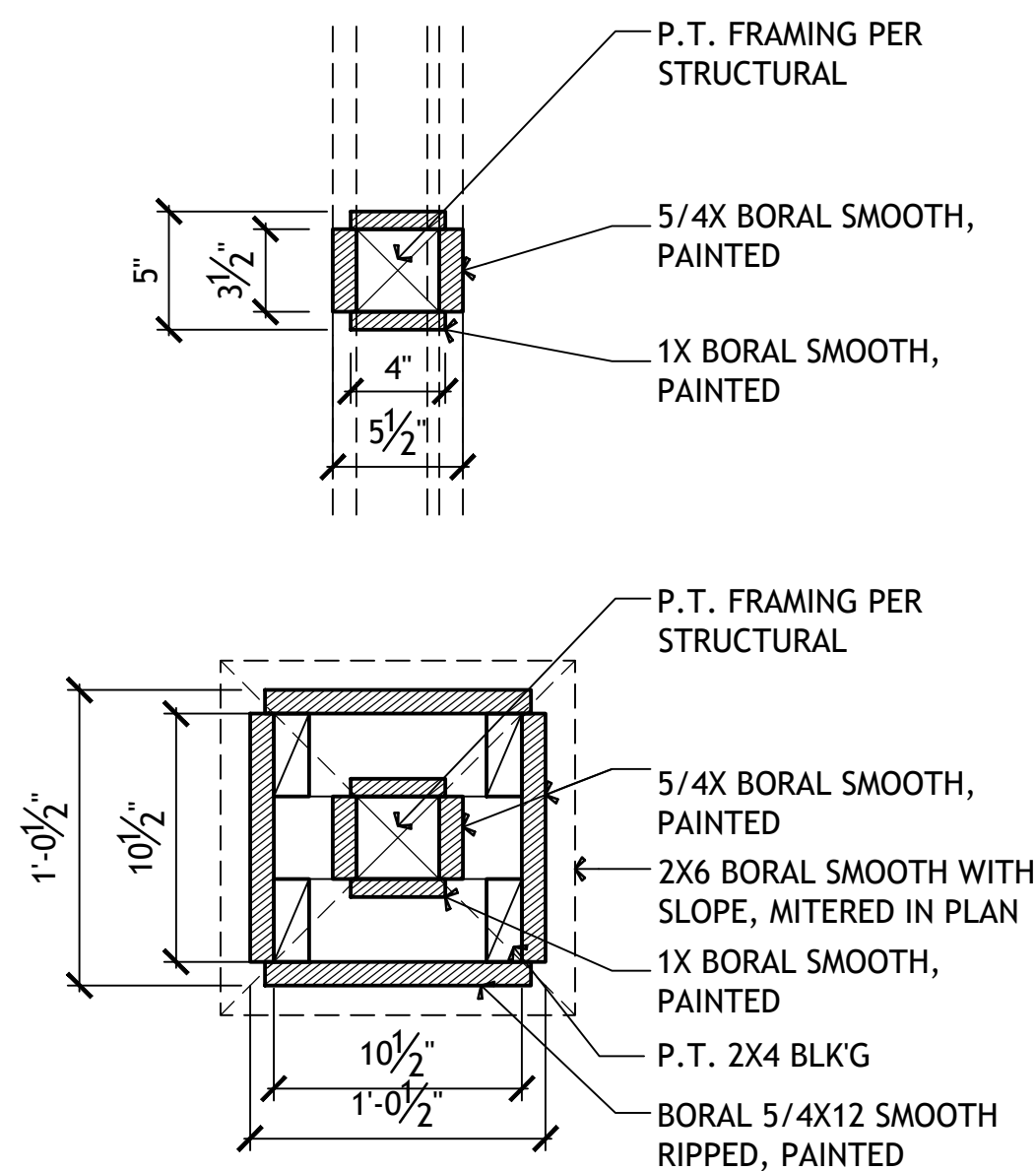
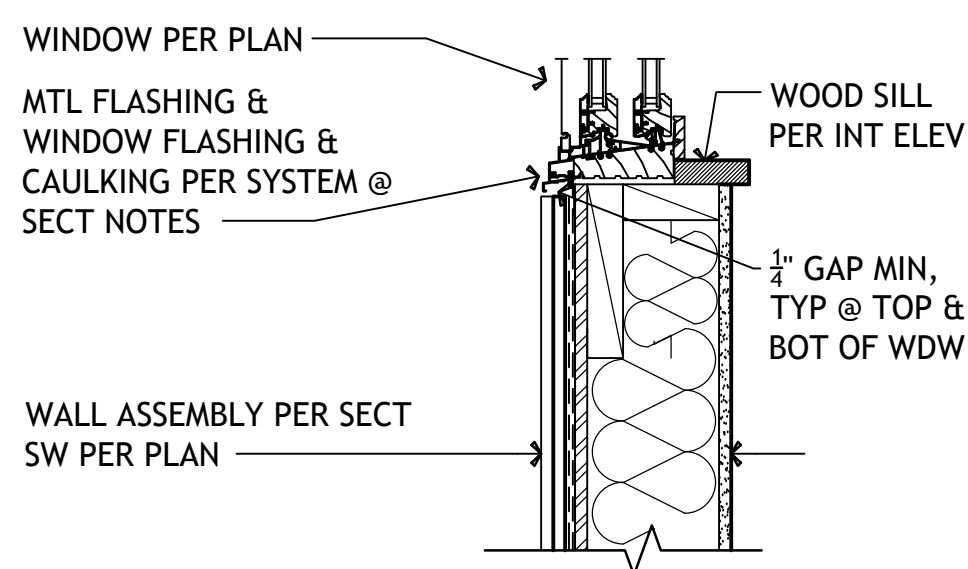


1 TYP. WINDOW HEAD
A4-8 1 1/2" = 1'-0"

2 TYP. WINDOW JAMB
A4-8 1 1/2" = 1'-0"

3 EAVE DETAIL @ PATIO
A4-8 1-1/2" = 1'-0"

4 GABLE DETAIL @ PATIO
A4-8 1-1/2" = 1'-0"



5 TYP. WINDOW SILL
A4-8 1 1/2" = 1'-0"

6 POST PLAN DETAIL @ PATIO
A4-8 1 1/2" = 1'-0"

7 POST FOOTING DETAIL @ PATIO
A4-8 1-1/2" = 1'-0"

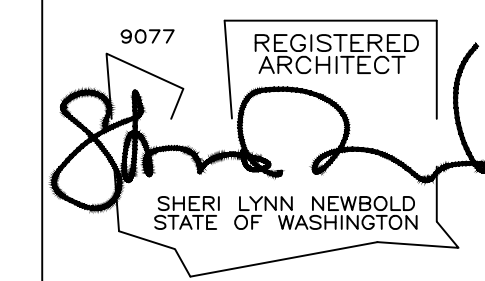
8 EAVE DETAIL @ PATIO
A4-8 1-1/2" = 1'-0"

9 -
A4-8 1 1/2" = 1'-0"

10 -
A4-8 1 1/2" = 1'-0"

11 -
A4-8 1-1/2" = 1'-0"

12 -
A4-8 1-1/2" = 1'-0"



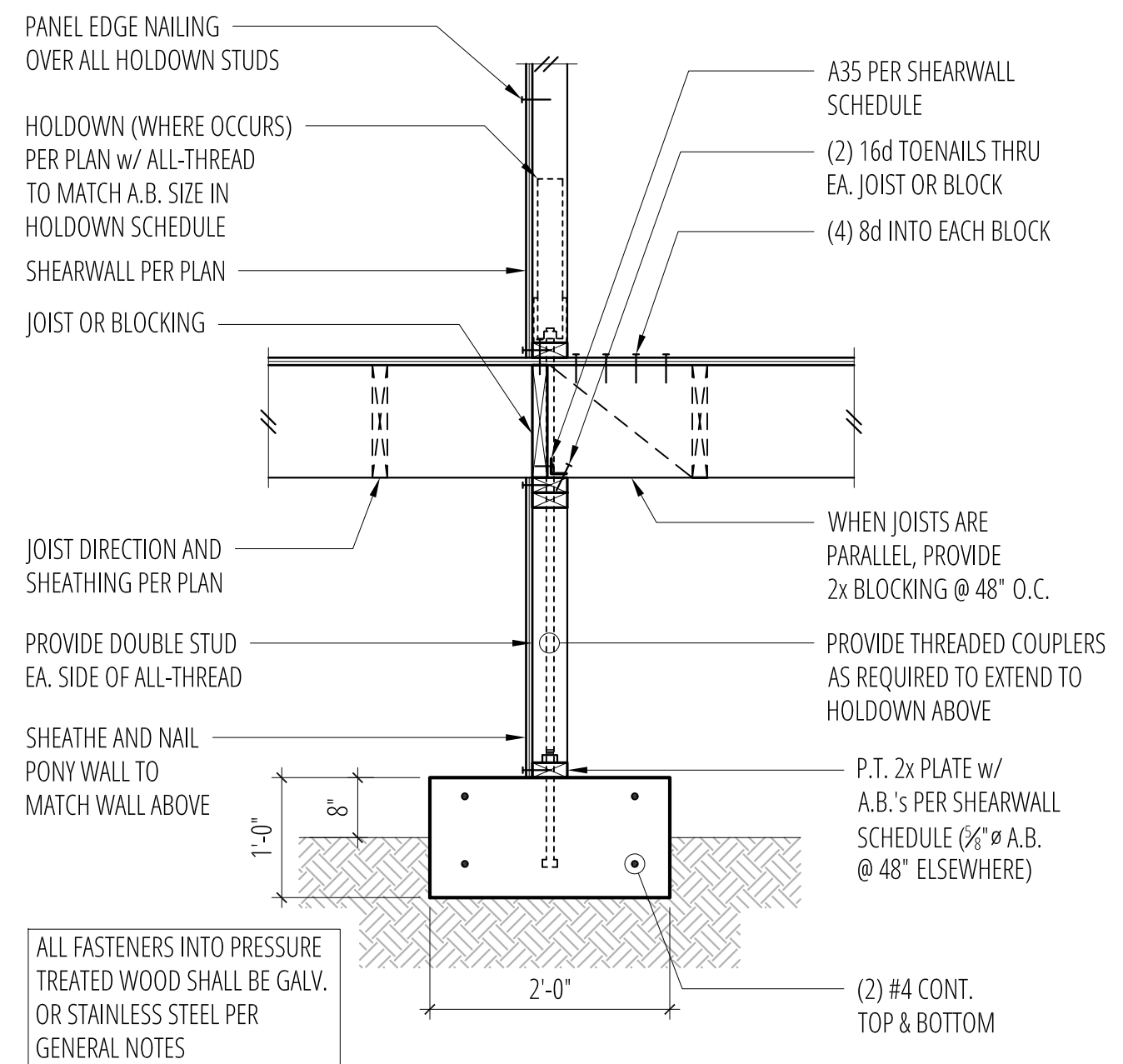
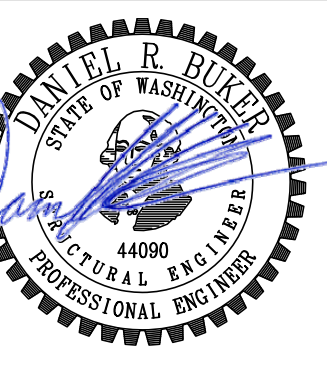
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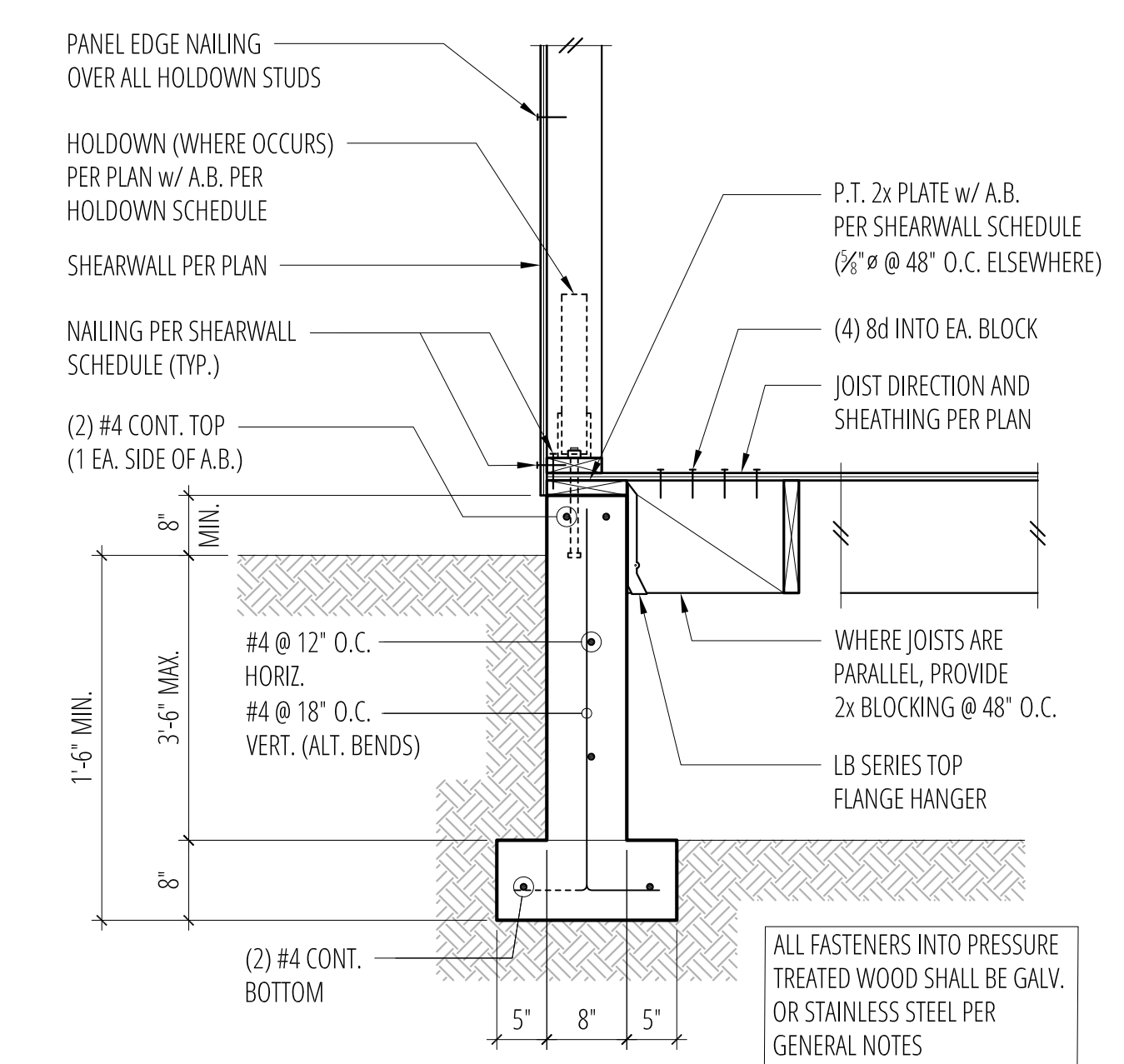
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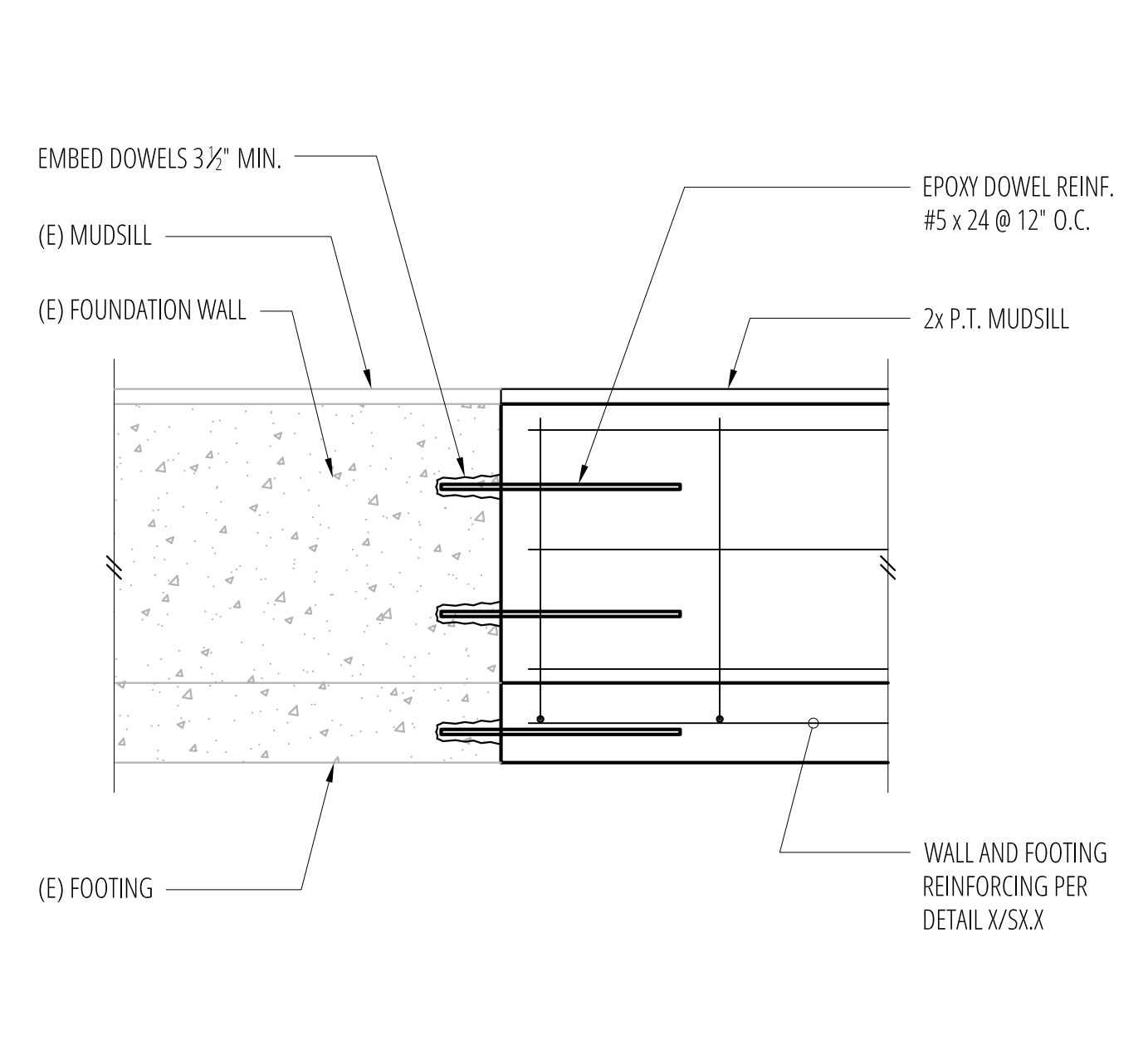
A4-8



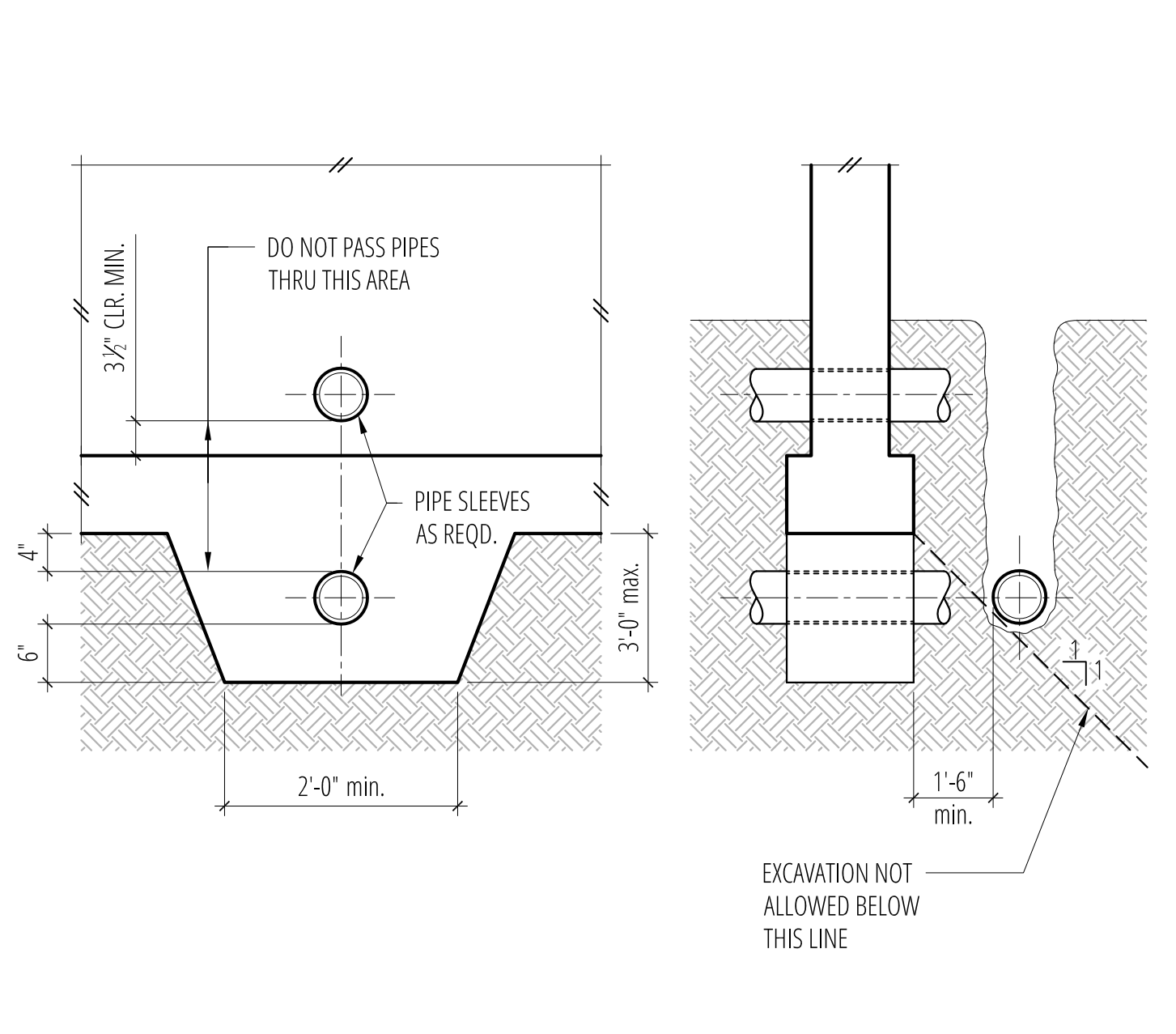
1 Interior Pony Wall at Crawl Space
 SCALE: 3/4"=1'-0"



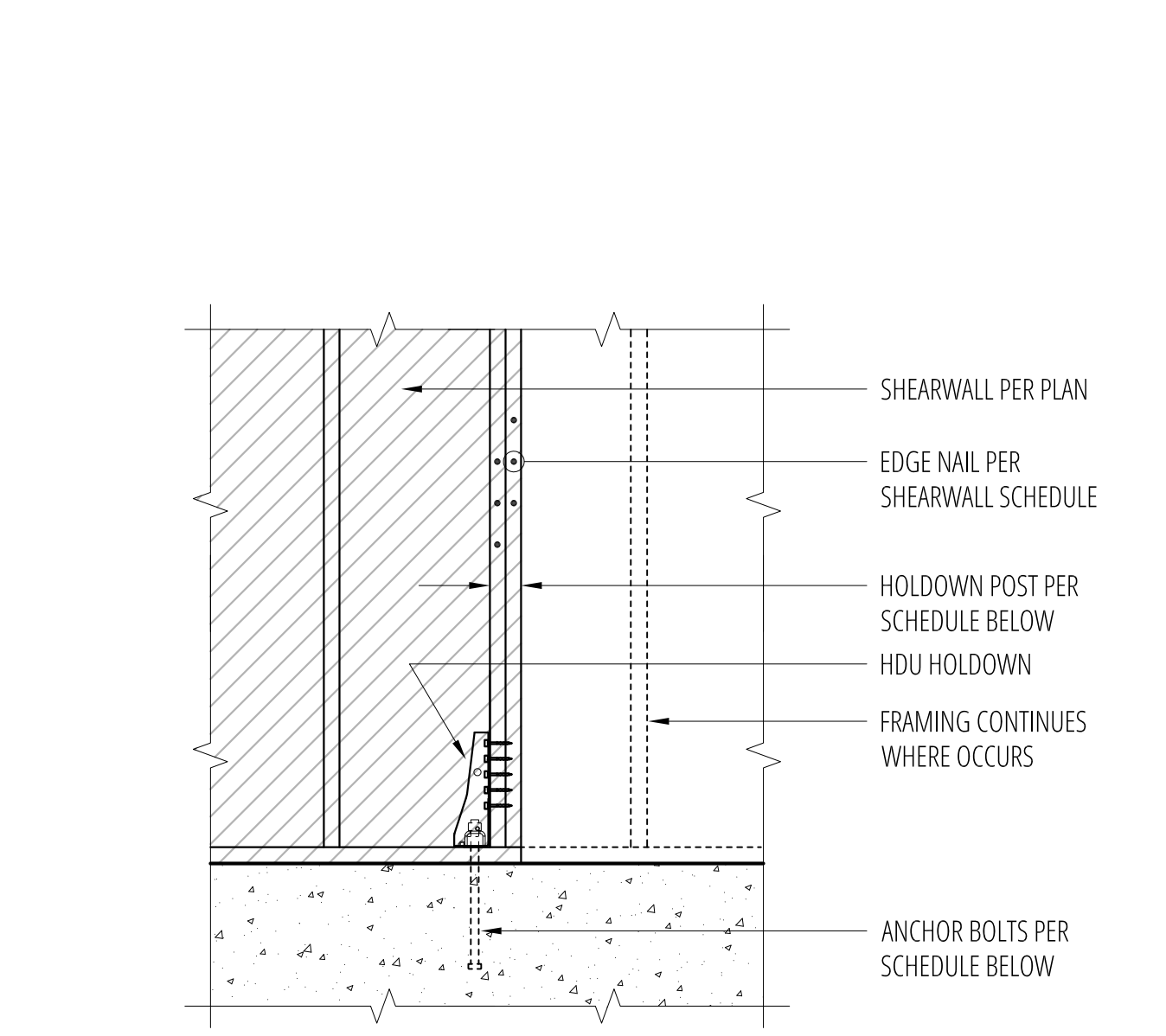
2 Exterior Framing at Crawlspace (High Grade)
 SCALE: 3/4"=1'-0"



3 Epoxy Dowel Connection at (E) Foundation
 SCALE: 3/4"=1'-0"



4 Pipe and Trench Locations
 SCALE: 3/4"=1'-0"



Holdown Schedule

Plan Mark	Screws	Anchor Bolt ②	A.B. Embed	Holdown Post ①		Capacity #
				IF 2x4	IF 2x6	
HDU2-SDS2.5	(6) SDS 3/8" x 2 1/2"	SSTB16	12 3/8"	(2) 2x4	4x6	2215/3075
HDU4-SDS2.5	(10) SDS 3/8" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	4565
HDU5-SDS2.5	(14) SDS 3/8" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	5645
HDU8-SDS2.5	(20) SDS 3/8" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	6970
HDU11-SDS2.5	(30) SDS 3/8" x 2 1/2"	SB 1" x 30	24"	4x8	6x6	9535
HDU14-SDS2.5	(36) SDS 3/8" x 2 1/2"	SB 1 1/2" x 30	24"	4x8	6x6	10770

① MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.
 ② "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.
 ③ AT (E) FOUNDATION, PROVIDE EPOXY GROUTED THREADED ROD (DIA. PER MAUFACTURER) EMBED 12"

9 HDU Holddown Schedule
 SCALE: 3/4"=1'-0"

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE
 FOR F_c = 2500 psi, GRADE 60 REINFORCING

① MINIMUM STRAIGHT DEVELOPMENT LENGTH (ℓ_d)

BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

② MINIMUM LAP SPLICE LENGTHS (ℓ_s)

BAR SIZE	TOP BARS	OTHER BARS
#3	31"	23"
#4	41"	31"
#5	51"	40"
#6	62"	47"
#7	89"	68"
#8	102"	78"
#9	114"	88"
#10	130"	99"
#11	143"	110"

TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

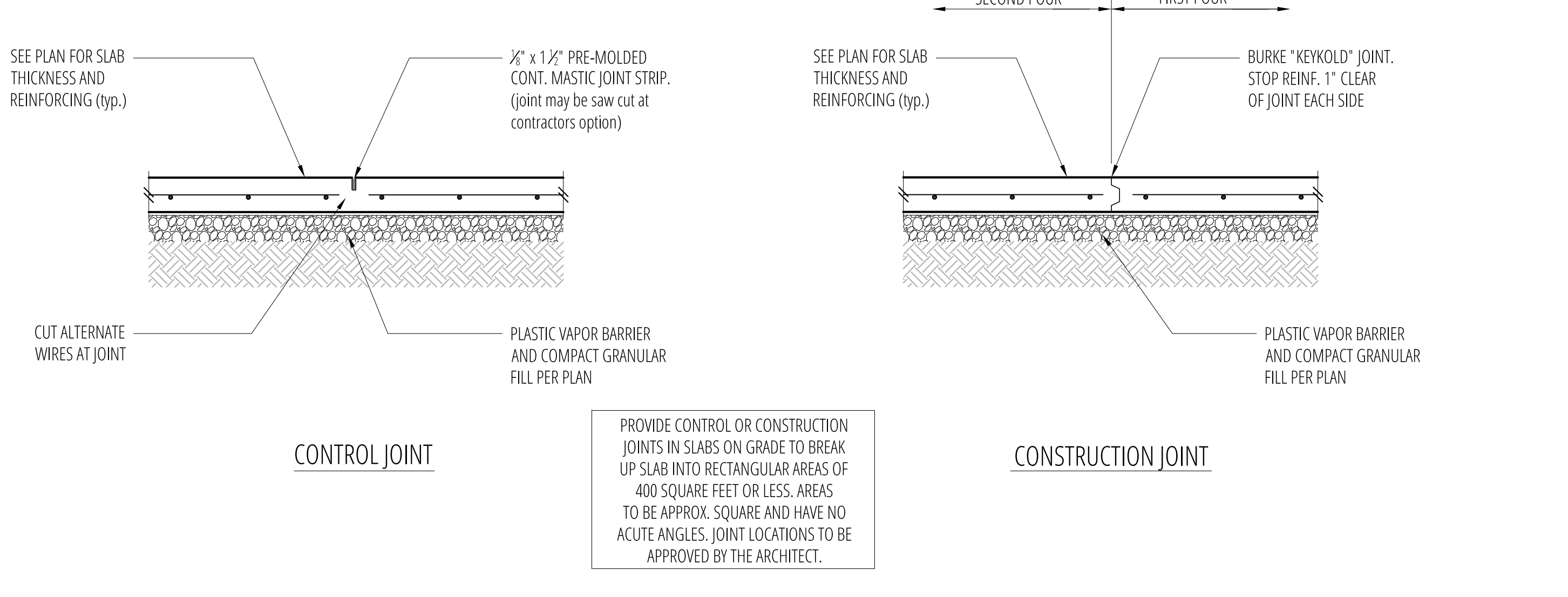
IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

③ MINIMUM EMBEDMENT LENGTHS (ℓ_{dh}) FOR STANDARD END HOOKS

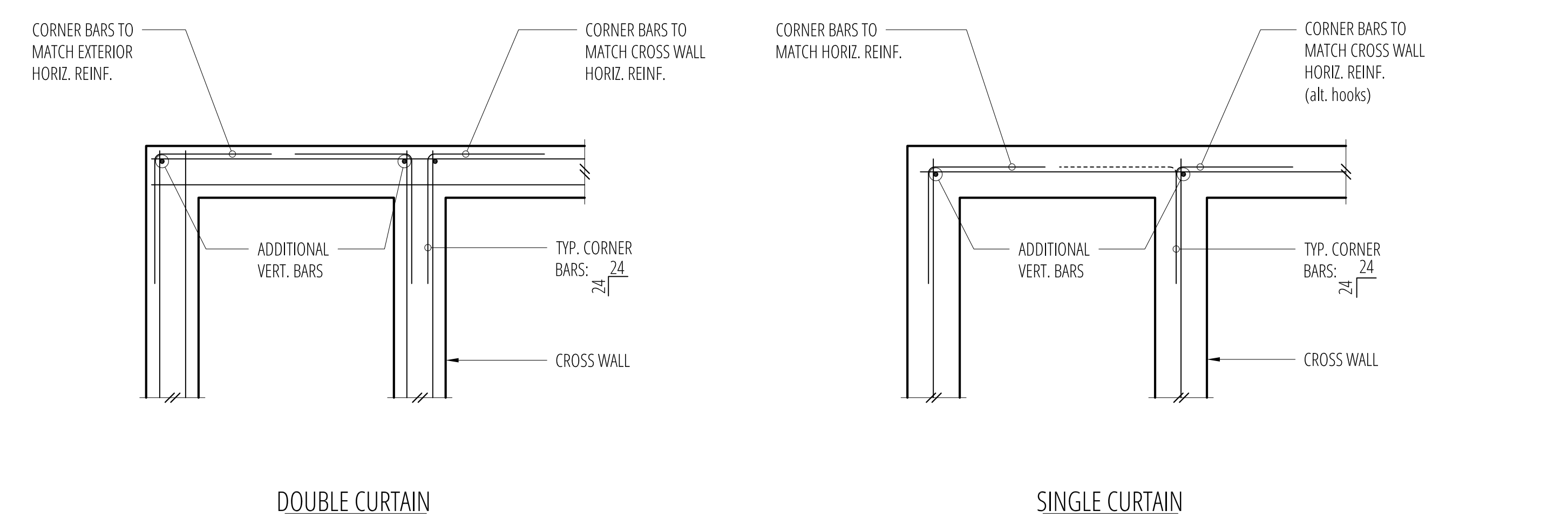
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN 2 1/2"
 2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

10 Lap Splice and Development Schedule
 SCALE: 3/4"=1'-0"



7 Typical Slab Joints
 SCALE: 3/4"=1'-0"



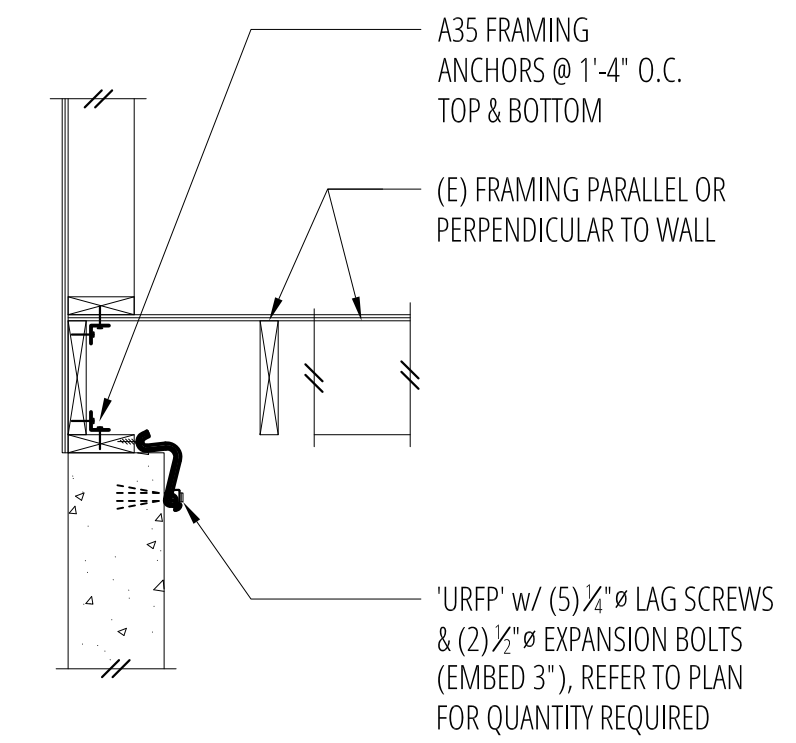
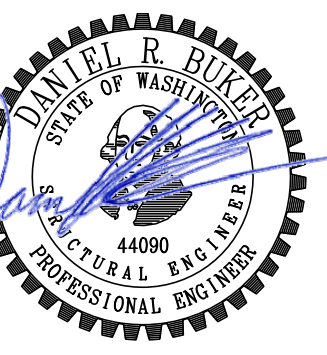
11 Typical Corner Bars at Concrete Walls and Footings
 SCALE: 3/4"=1'-0"

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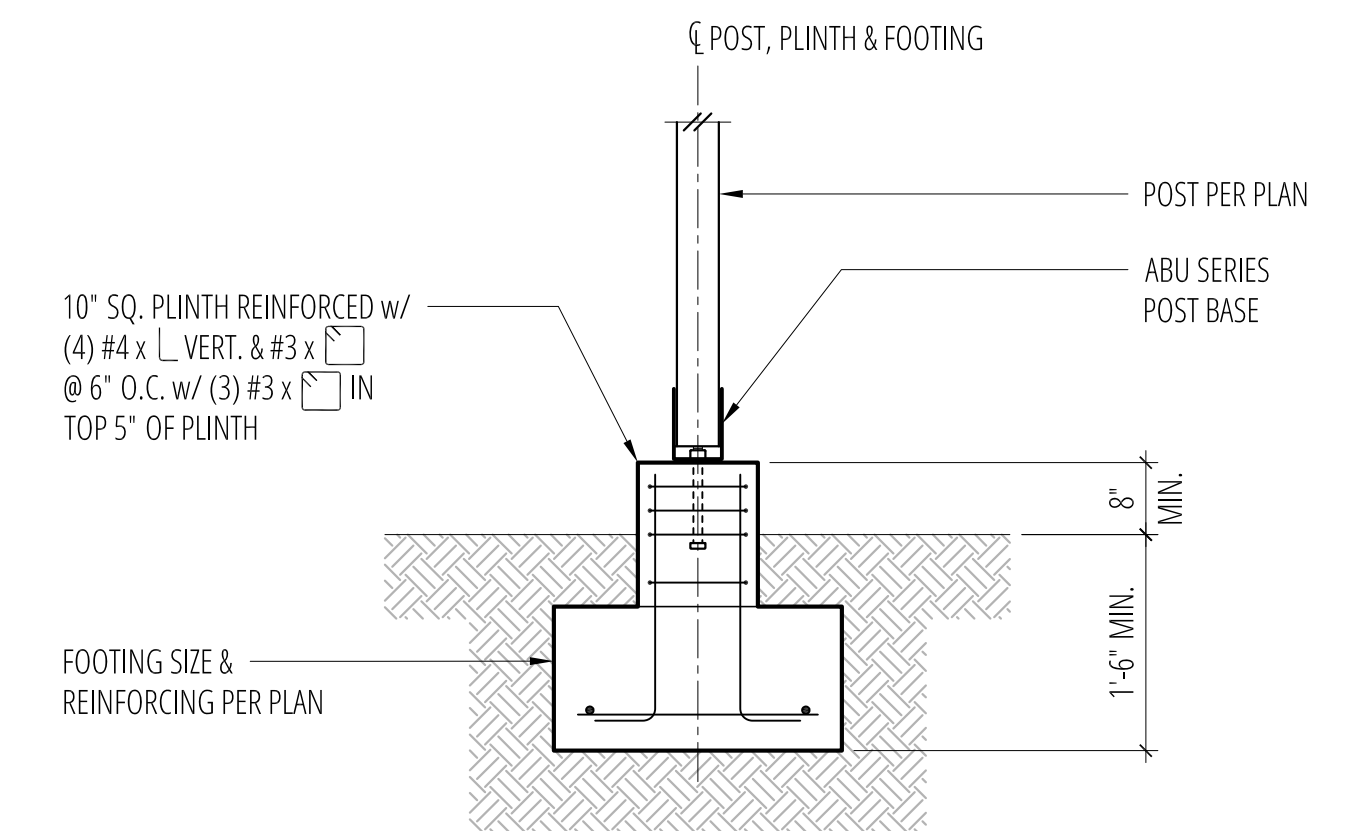
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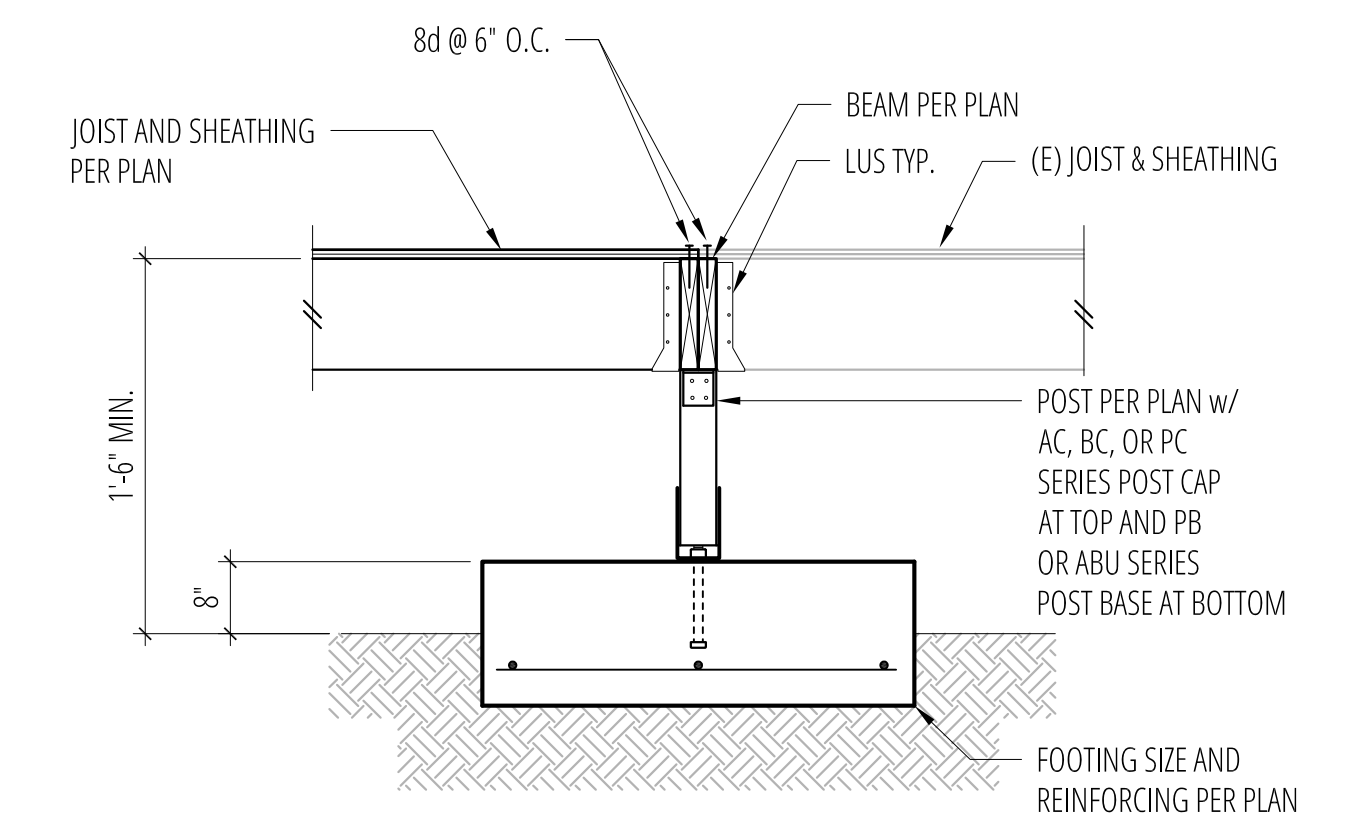
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4 URFP Connection
SCALE: 3/4"=1'-0"



8 Deck or Canopy Post Footing
SCALE: 3/4"=1'-0"



12 Post Footing at Crawl Space
SCALE: 3/4"=1'-0"

1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 SCALE: 3/4"=1'-0"

5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"

7 SCALE: 3/4"=1'-0"

9 SCALE: 3/4"=1'-0"

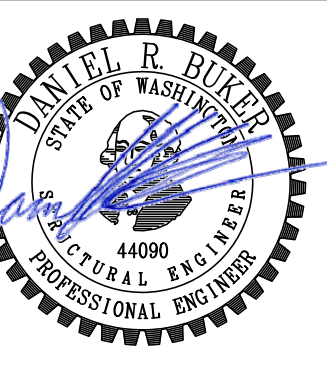
10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

Whitney-Gedeon Residence

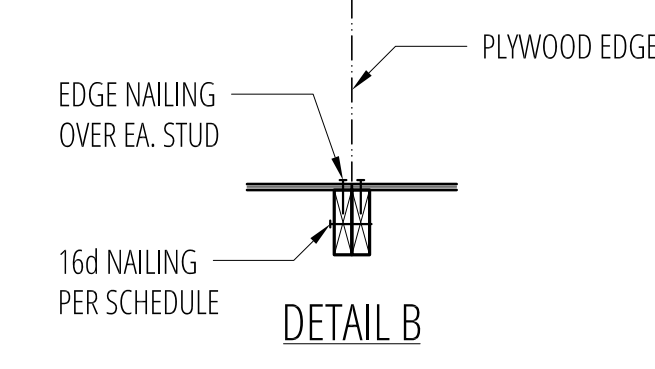
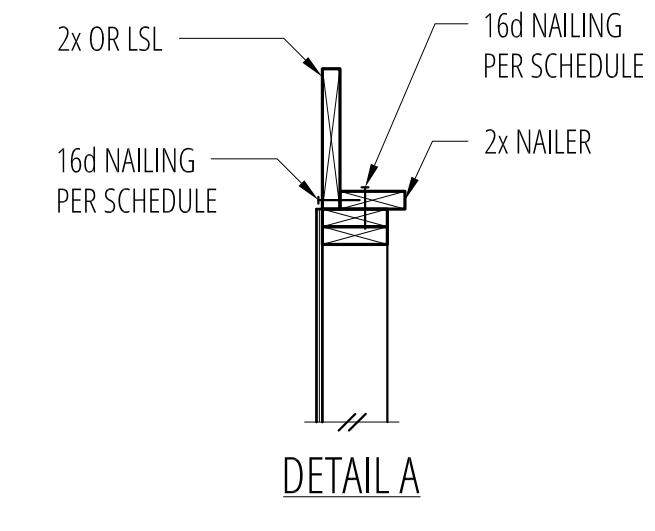
4219 91st Avenue SE
Mercer Island, WA 98040

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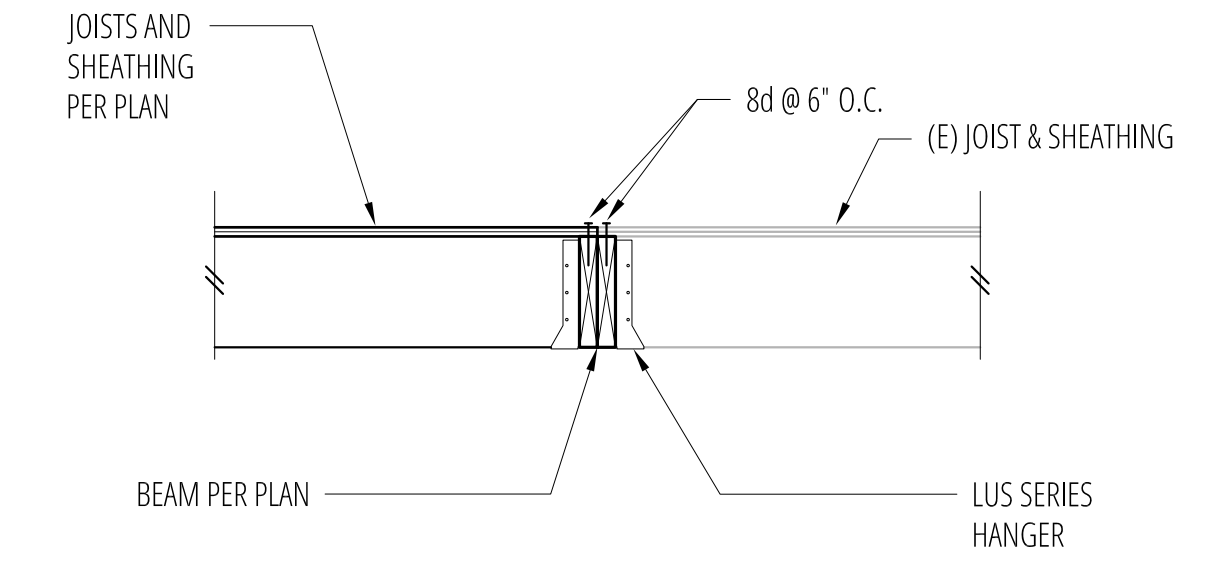
SHEARWALL SCHEDULE ①②③④⑤⑥⑦

MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			IF TJI	IF 2x OR LSL	AT WOOD	AT CONCRETE
W6	1/2" CDX PLYWOOD	8d @ 6" OC	16d @ 6" OC	A35 @ 24" OC	16d @ 6" OC	1/2" A.B. @ 48" OC
W4	1/2" CDX PLYWOOD	8d @ 4" OC	16d @ 4" OC	A35 @ 16" OC	16d @ 4" OC	1/2" A.B. @ 32" OC
W3④	1/2" CDX PLYWOOD	8d @ 3" OC	(2) ROWS 16d @ 6" OC	A35 @ 12" OC	16d @ 3" OC ⑩	1/2" A.B. @ 16" OC
W2④	1/2" CDX PLYWOOD	8d @ 2" OC	(2) ROWS 16d @ 4 1/2" OC	A35 @ 9" OC	(2) ROWS 16d @ 4 1/2" OC ⑩	1/2" A.B. @ 12" OC



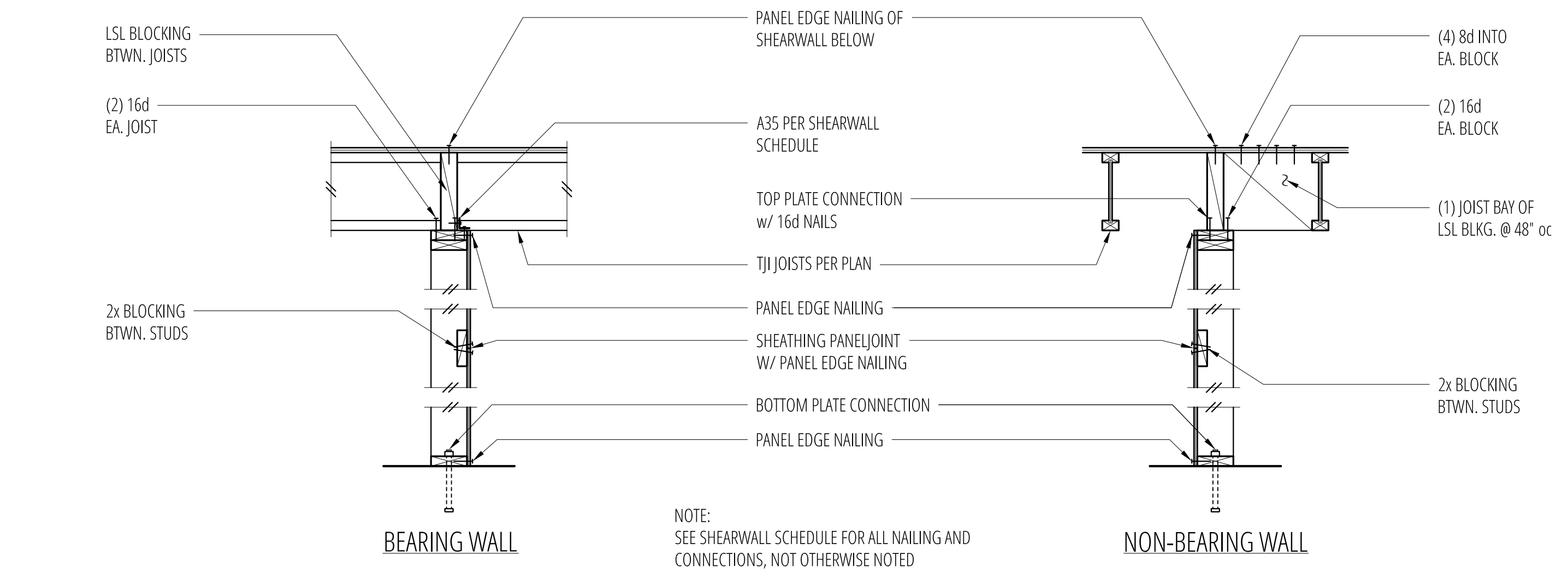
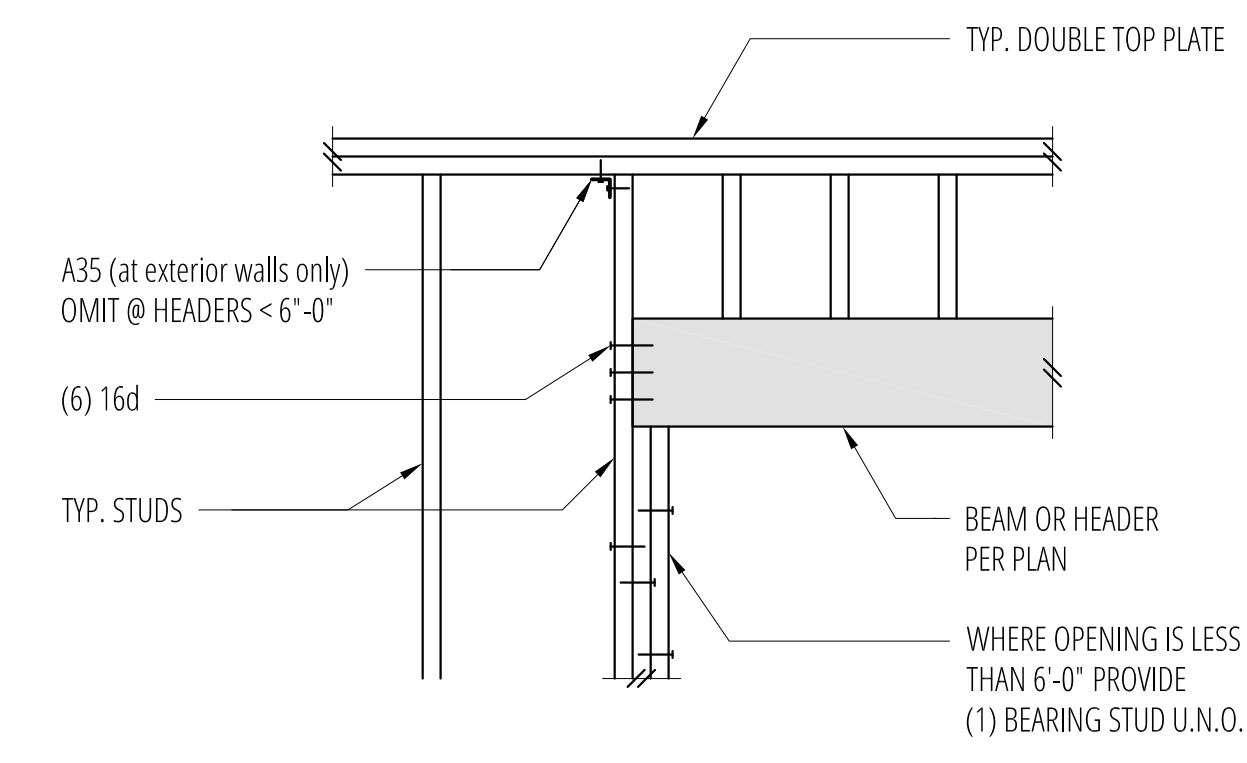
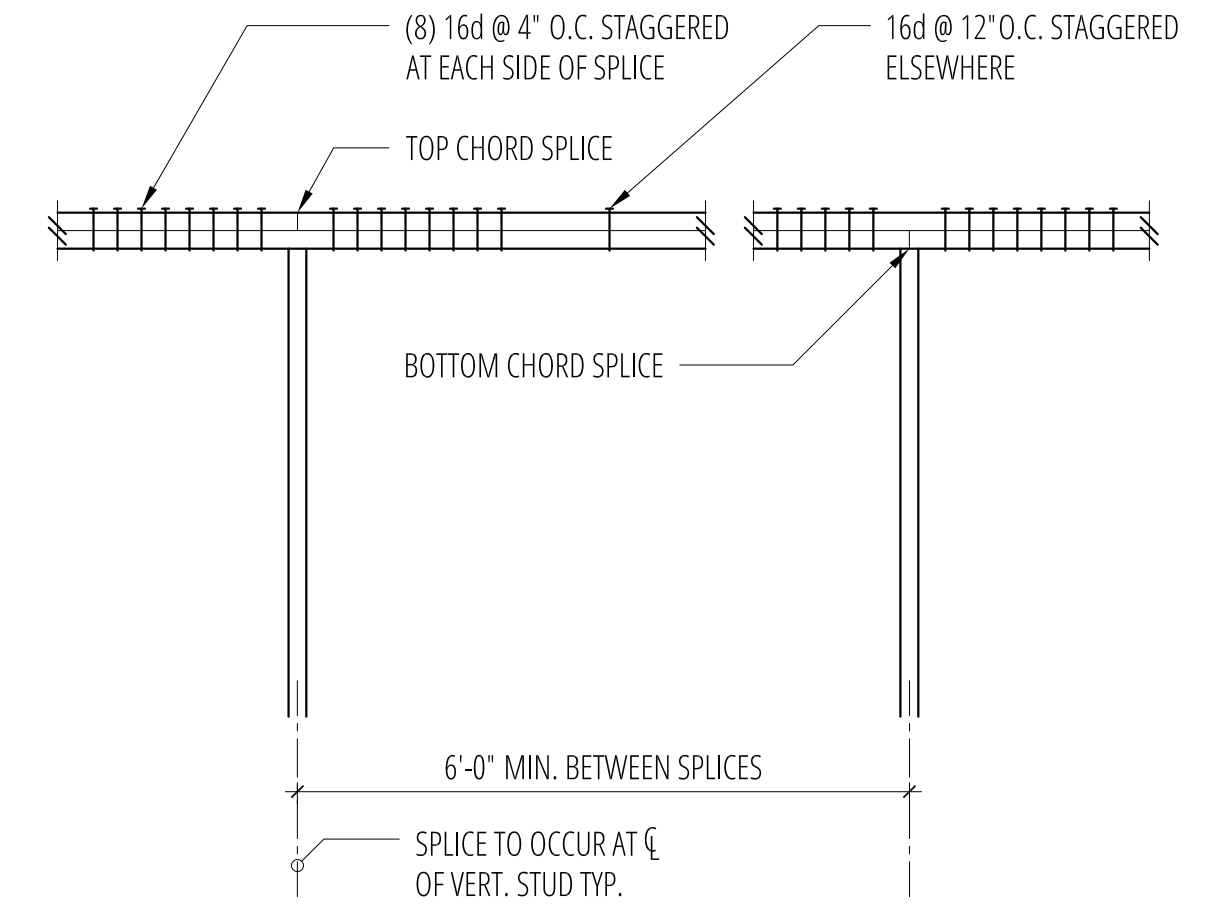
PLAN VIEW AT ABUTTING PANEL EDGES OF W3 & W2

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" o.c.
- 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/2" PLATE WASHERS. EXTEND TO WITHIN 1/2" OF THE PLYWOOD SHEATHING.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 3/16" O.S.B. MAY BE SUBSTITUTED FOR 1/2" CDX.
- LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- STAGGER NAILS IN ROW W/ 1/2" MIN. OFFSET.
- MINIMUM OFFSET BETWEEN ROWS 1/2", AND MINIMUM RIM OR JOIST 3 1/2" WIDE.



2 Typical Flush Beam/Header
SCALE: 3/4"=1'-0"

3 Shearwall Schedule
SCALE: 3/4"=1'-0"

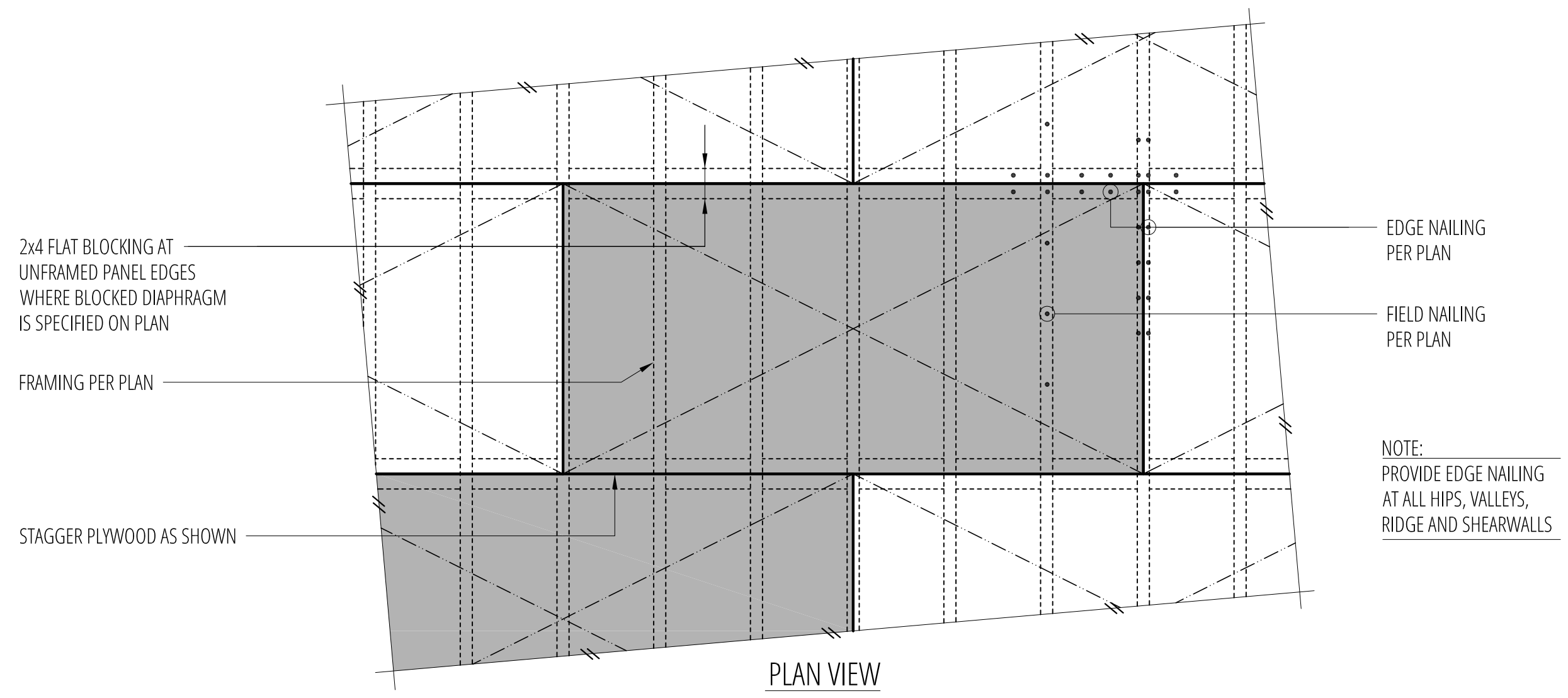


NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

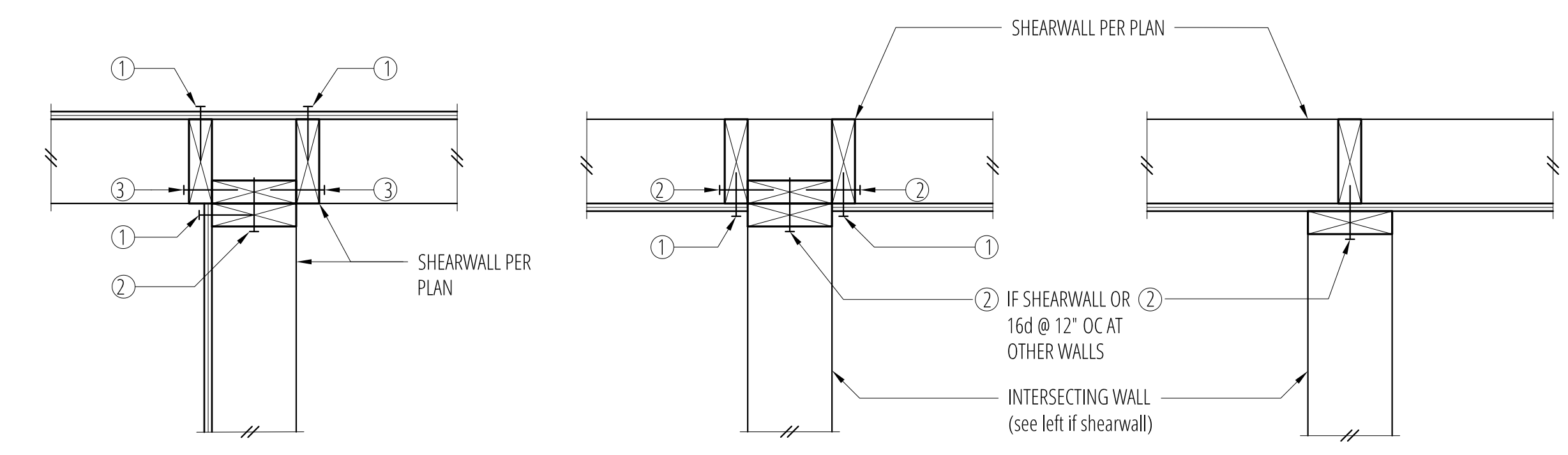
6 Typical Header Support
SCALE: 3/4"=1'-0"

7 Typical Shearwall Construction
SCALE: 3/4"=1'-0"

5 Typical Top Plate Splice
SCALE: 3/4"=1'-0"



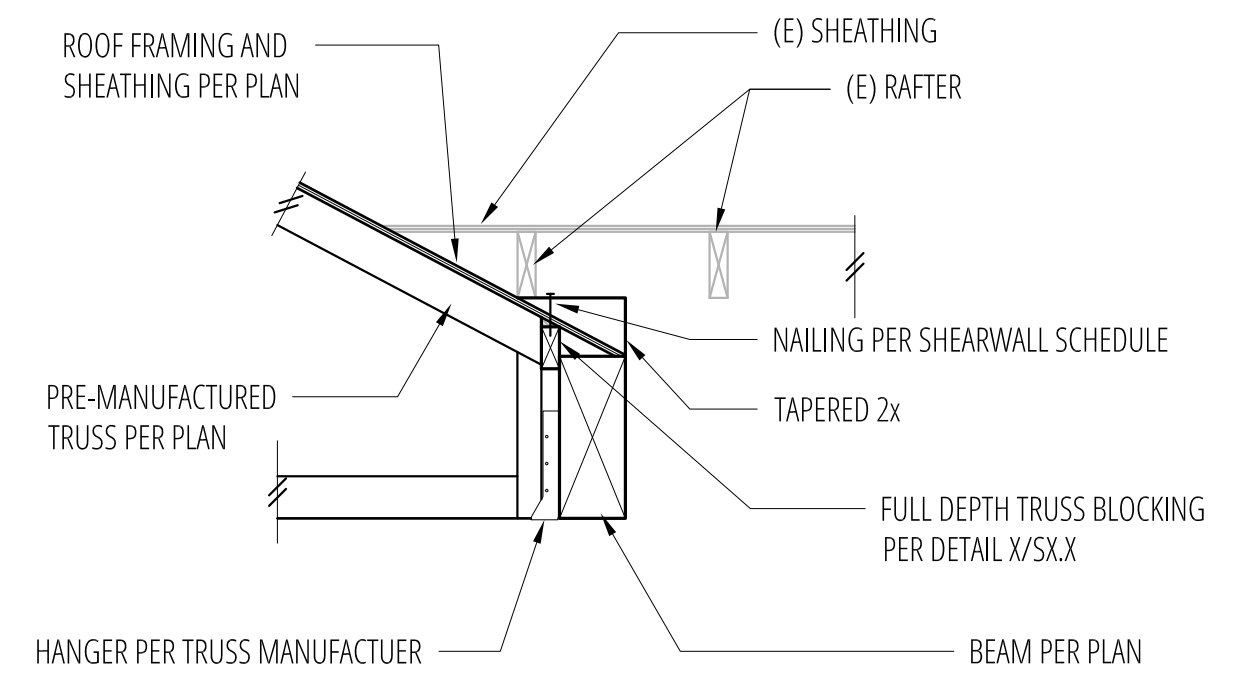
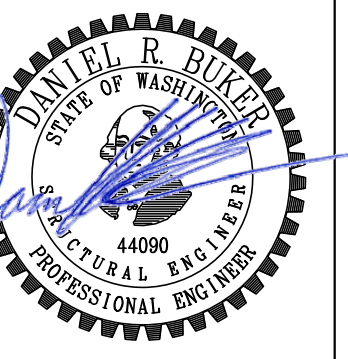
9 Typical Diaphragm Sheathing and Nailing
SCALE: 3/4"=1'-0"



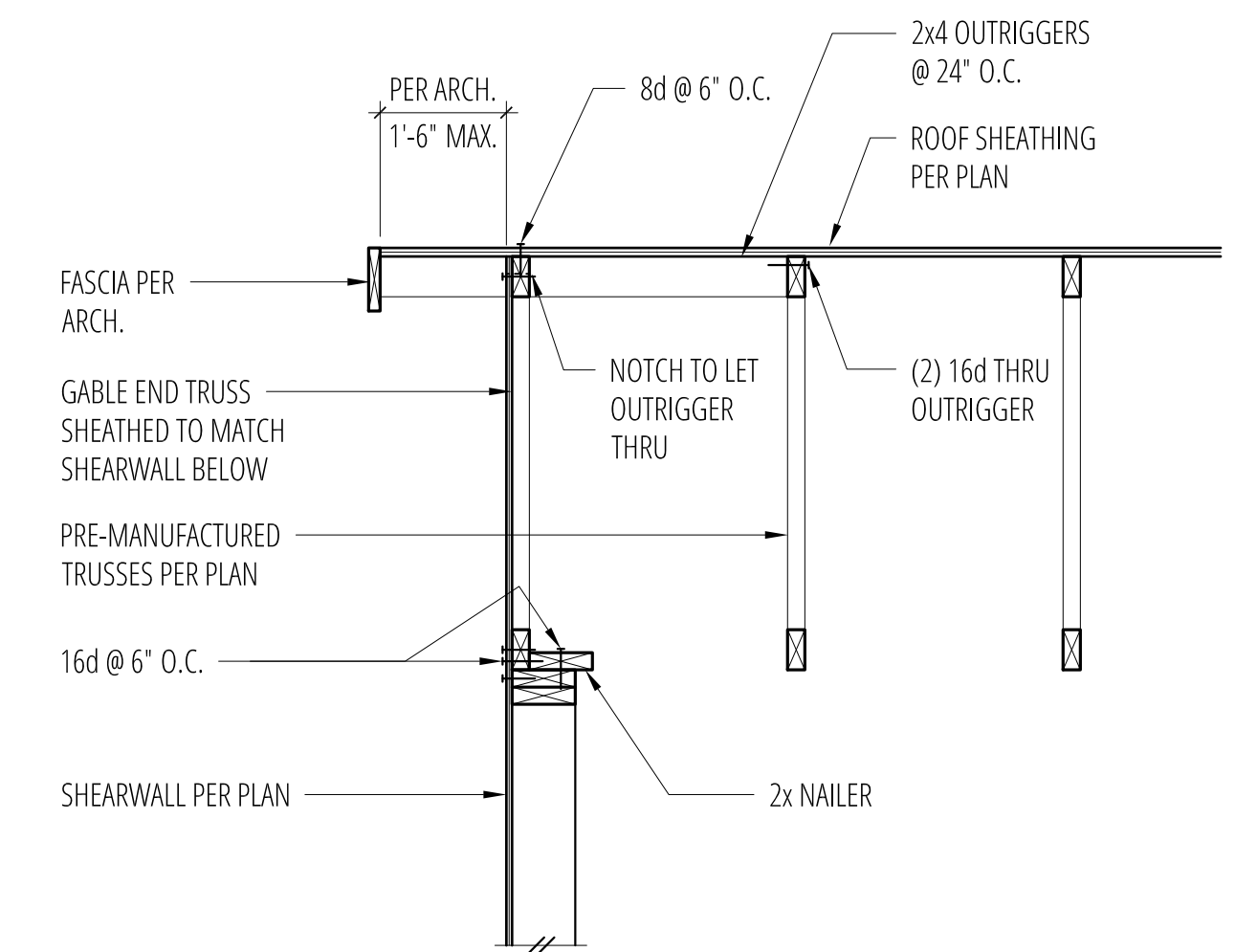
- ① PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- ② BASE PLATE NAILING PER SHEARWALL SCHEDULE
- ③ 16d @ 8" OC

11 Typical Shearwall Intersection
SCALE: 3/4"=1'-0"

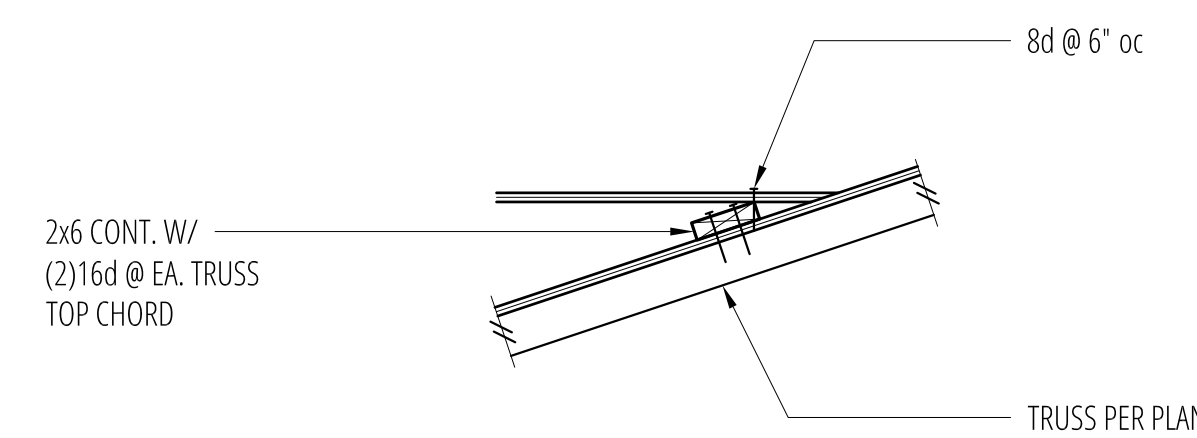
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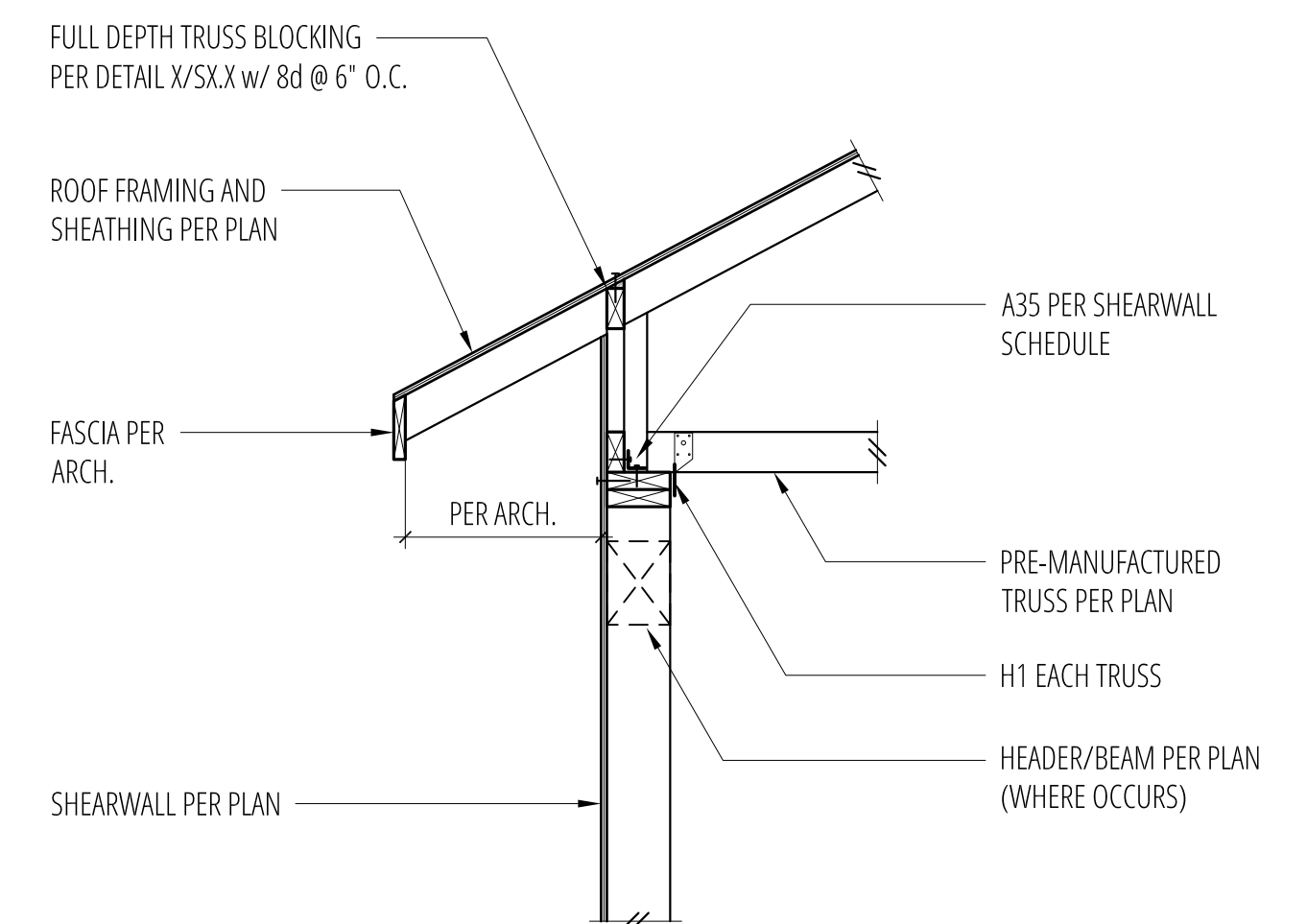
4 Roof Connection
SCALE: 3/4"=1'-0"



8 Exterior Non-Bearing Wall at Roof
SCALE: 3/4"=1'-0"



11 Overframing Connection
SCALE: 3/4"=1'-0"



12 Exterior Bearing Wall at Roof
SCALE: 3/4"=1'-0"

1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 SCALE: 3/4"=1'-0"

5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"

7 SCALE: 3/4"=1'-0"

9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

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ROOF FRAMING DETAILS

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